

SIX NINETEEN PROPERTY MANAGEMENT, LLC

CANNABIS RETAIL DISPENSARY

PRELIMINARY & FINAL MAJOR SITE PLAN

BLOCK 137 LOT 10

ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

NOTE:
 ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.

METHOD FOR DETERMINING FLOOD HAZARD AREA AND FLOODWAY - METHOD 2 (FEMA TIDAL METHOD)
 SITE LIES WITHIN FEMA ZONES A-8 AS SHOWN ON FIRM COMMUNITY PANEL #345278 0006D (8/15/83) (WITHIN 100 YEAR FLOOD PLAIN, WITH BASE ELEVATIONS 10.0 (NGVD 29 DATUM) AS WELL AS THE PRELIMINARY FIRM FLOOD DESIGNATION AE9

NOTE: ALL TOPOGRAPHY SHOWN ON THESE DOCUMENTS REFERENCE NAVD 88 DATUM.
 CONVERSION: NAVD 88 + 1.30 = NGVD 29

SITE LIES WITHIN FLOOD ZONE AE 9 AS SHOWN ON THE PRELIMINARY FIRM MAPPING. BASE FLOOD ELEVATION = 9.0 (NAVD 88). ATLANTIC CITY ORDINANCE REQUIREMENT FOR FINISHED FLOOR ELEVATION = BFE + 2 = 11.0 (NAVD 88)

LIST OF PROPERTY OWNERS WITHIN 200 FT UNDER SEPARATE COVER

Approved by Resolution # _____	Dated: _____
CRDA Planner _____	Date: _____
CRDA Engineer _____	Date: _____
CRDA Land Use Regulation & Enforcement Officer _____	Date: _____
CRDA Hearing Officer _____	Date: _____

INDEX OF CIVIL DRAWINGS:

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ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND LOCAL ORDINANCES. REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PROFESSIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE HIGH VOLTAGE PROMINENT ACT, STATE OF NEW JERSEY, ADOPTED 7/21/88 AS PL 1048, § 349, THE NEW JERSEY INFORMAL CONSTRUCTION CODE, I.C.C. ASTM SPECIFICATIONS, ALL LOCAL ORDINANCES AND PERMIT CONDITIONS.

ARTHUR PONZIO CO. RESPONSIBILITIES DO NOT INCLUDE THE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

ARCO ARTHUR PONZIO CO.
 ENGINEERS & SURVEYORS
 PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
 PHONE: 609-344-8194 FAX: 609-344-1594
 NEW JERSEY STATE AUTH. NO.: 24GA28001300

Jon J. Barnhart
JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33LI00581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33LI00267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

TITLE SHEET
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE
 DATE: 1-25-24

BY: JJB
 PROJ. NO.: 41234

SHEET NO.
C-1
 SHEET 1 of 7

137

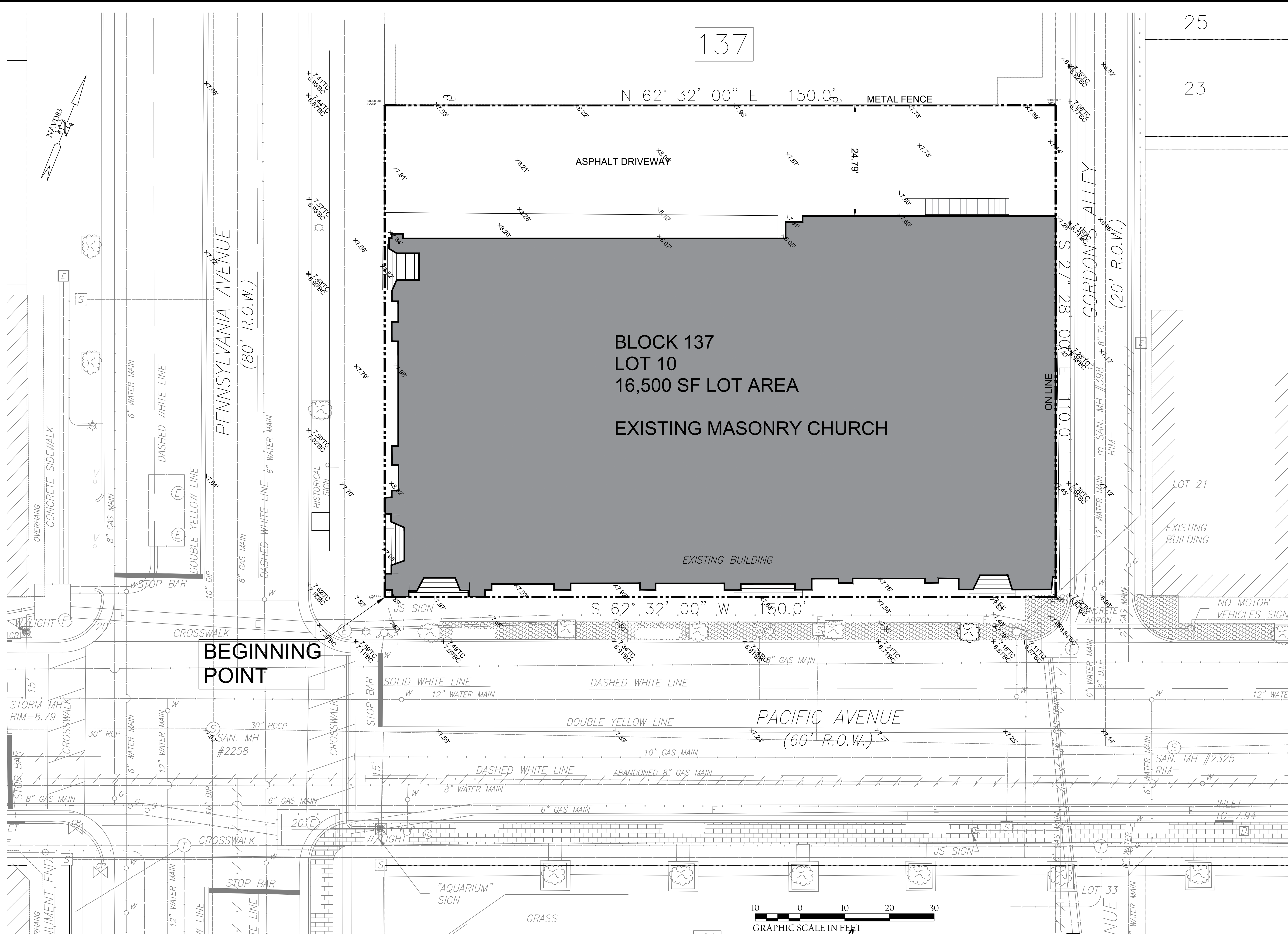
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23

GENERAL NOTES

1. SUBJECT PROPERTY LIES IN FEMA FLOOD DESIGNATION A99 SHOWN ON THE PRELIMINARY WORK MAPS.
2. SUBJECT PROPERTY CONTAINS A CALCULATED AREA OF 16500 SF.
3. PERMANENT MARKERS HAVE BEEN FOUND OR SET AS INDICATED.
4. OFFSETS SHOWN ARE GIVEN FOR CHECKING COMPLIANCE WITH DEED RESTRICTIONS AND ZONING REGULATIONS ONLY. OFFSETS SHALL NOT BE USED FOR ANY OTHER PURPOSES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY IF THE OFFSETS SHOWN ARE USED OTHER THAN AS INTENDED.
5. THIS PROPERTY IS SUBJECT TO DOCUMENTS OF RECORD, UNDERGROUND IMPROVEMENTS, EASEMENTS, PROPERTY LINE AGREEMENTS OR OTHER CONDITIONS UNKNOWN TO THE SURVEYOR ARE NOT SHOWN. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD ANY SUCH INFORMATION BECOME AVAILABLE.
6. SURVEYOR'S SIGNATURE AND SEAL SIGNIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION. ONLY SIGNED SEALED COPIES SHALL BE CONSIDERED AS TRUE COPIES.
7. THE ILLUSTRATION OF RIPARIAN CLAIMS OR RIGHTS, OR UNREGULATED OR REGULATED WETLANDS IMPACTING SUBJECT PROPERTY, IF ANY, ARE NOT INCLUDED AS A PART OF SURVEYOR'S CONTRACT WITH CLIENT. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD CLIENT REQUEST THESE ADDITIONAL SERVICES.
8. THIS SURVEY HAS BEEN PREPARED ONLY FOR THE USE OF THE NAMED PARTIES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY FOR USE WITH SURVEY AFFIDAVIT, OR FOR USE BY ANY OTHER PERSON OR ENTITY NOT SPECIFICALLY NAMED, FOR ANY REASONS OTHER THAN AS ORIGINALLY INTENDED.
9. THE DETECTION, LOCATION OR IDENTIFICATION OF HAZARDOUS SUBSTANCES OR UNDERGROUND CONDITIONS NOT VISIBLE AT TIME OF SURVEY ARE NOT INCLUDED AS PART OF SURVEYOR'S CONTRACT WITH CLIENT.
10. ALL EXISTING SPOT ELEVATIONS AND CONTOURS INDICATED IN NAV88 DATUM.

HORIZONTAL DATUM - NAD 83
VERTICAL DATUM - NAVD 88



CERTIFIED TO:

STEARNS BANK N.A.
4191 2ND STREET SOUTH
ST CLOUD, MN 56301

THE TITLE COMPANY OF JERSEY

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PHONE: 609-344-8194 FAX: 609-344-1594
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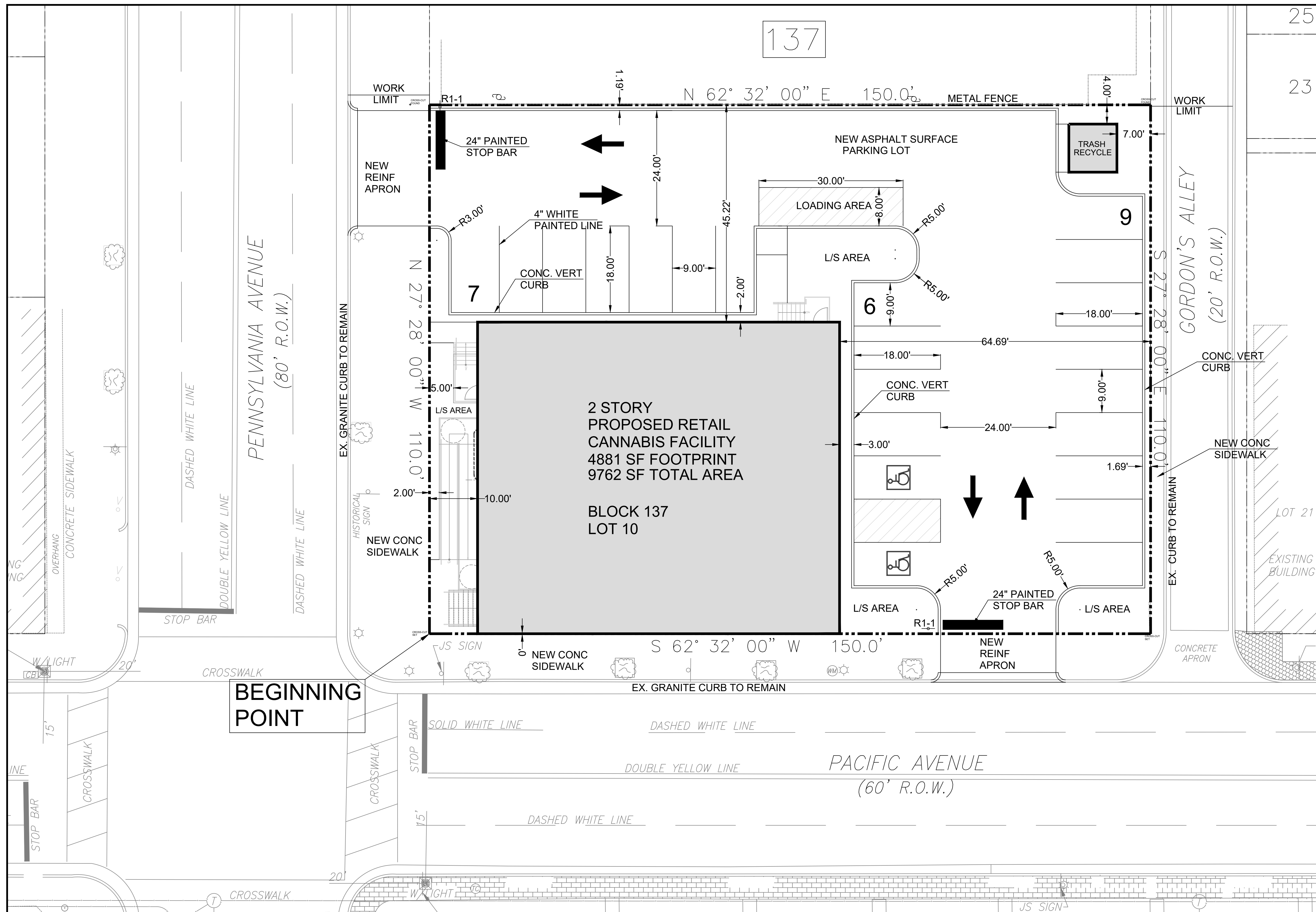
Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

PROPERTY SURVEY
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
DATE: 1-25-24

BY: JJB
PROJ. NO.: 41234

SHEET NO.
C-2
SHEET 2 of 7



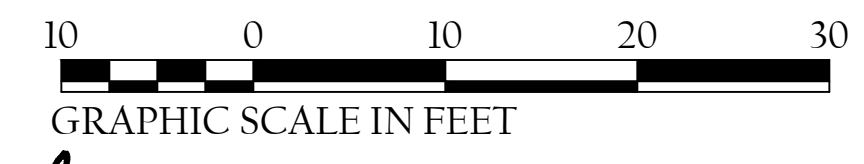
GENERAL NOTES

1. APPLICANT / OWNER:
SIX NINETEEN PROPERTY MANAGEMENT, LLC
C/O BRIDGET SYKES, ESQ
FOX ROTHSCHILD
1301 ATLANTIC AVENUE
ATLANTIC CITY, NJ 08401
2. PROPERTY INFORMATION:
BLOCK 137 LOT 10
3. AREA = SEE PLAN
ZONING = RC DISTRICT
EXISTING USE = CHURCH
PLAN HORIZONTAL DATUM - NAD83
PLAN VERTICAL DATUM - NAVD88
4. PROPOSED DEVELOPMENT
APPLICANT PROPOSES TO CONSTRUCT A NEW CANNABIS RETAIL DISPENSARY FACILITY ON THE SUBJECT SITE TOGETHER WITH ALL ASSOCIATED SITE IMPROVEMENTS.
5. NOTE REGARDING ADA COMPLIANCE:
ALL PROPOSED PEDESTRIAN SURFACES, INCLUDING SIDEWALKS, RAMPS, WALKWAYS, ETC SHALL BE ALL LOCAL, STATE, AND FEDERAL REGULATIONS OF ADA COMPLIANCE.

ZONING SCHEDULE (RC DISTRICT)

ITEM	REQUIRED	EXISTING	PROPOSED	STATUS
LOT AREA	7500 SF	16500 SF	16500 SF	C
LOT WIDTH	50 FT	110 FT	110 FT	C
LOT DEPTH	150 FT	150 FT	150 FT	C
LOT FRONTAGE	50 FT	150 FT / 110 FT	150 FT / 110 FT	C
SETBACKS				
FRONT YARD	0 FT	0FT/0FT/0FT	0FT/10FT/64.69FT	C
SIDE YARD	0 FT	N/A	N/A	C
REAR YARD	20 FT	24.79 FT	45.22 FT	C
BLDG HEIGHT	300 FT	< 300 FT	< 300 FT	C
COVERAGE				
BLDG	70%	71%	29.5%	C
IMPERVIOUS	80%	100%	88%	V
PARKING	1/300 SF (9762 SF = 33)	N/A	22	V

V = VARIANCE REQUIRED
ENC = EXISTING NON-CONFORMING
C = CONFORMING
N/A = NOT APPLICABLE



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REVISIONS							

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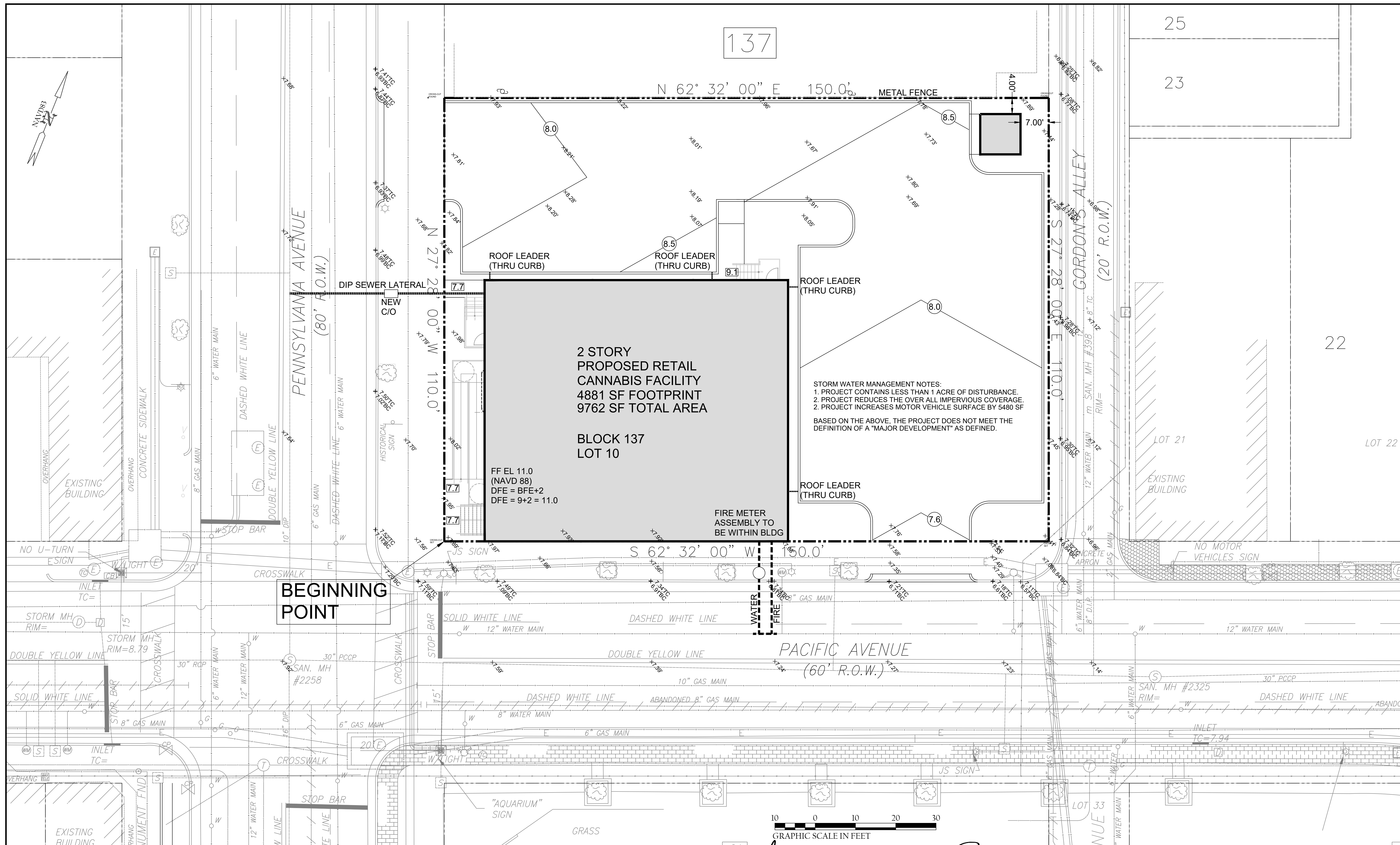
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SITE DEVELOPMENT PLAN
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
DATE: 1-25-24

BY: JJB
PROJ. NO.: 41234

SHEET NO.
C-3
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137

2 STORY
PROPOSED RETAIL
CANNABIS FACILITY
4881 SF FOOTPRINT
9762 SF TOTAL AREA

BLOCK 137
LOT 10

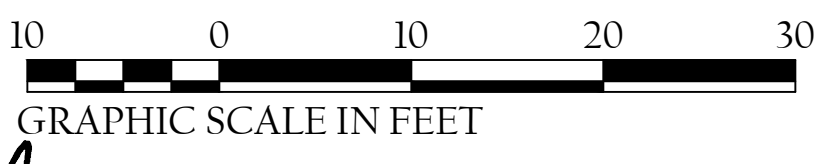
FF EL 11.0
(NAVD 88)
DFE = BFE+2
DFE = 9+2 = 11.0

FIRE METER
ASSEMBLY TO
BE WITHIN BLDG

STORM WATER MANAGEMENT NOTES:
1. PROJECT CONTAINS LESS THAN 1 ACRE OF DISTURBANCE.
2. PROJECT REDUCES THE OVER ALL IMPERVIOUS COVERAGE.
3. PROJECT INCREASES MOTOR VEHICLE SURFACE BY 5480 SF

BASED ON THE ABOVE, THE PROJECT DOES NOT MEET THE
DEFINITION OF A "MAJOR DEVELOPMENT" AS DEFINED.

BEGINNING
POINT



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GRADING, DRAINAGE & UTILITY PLAN
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
DATE: 1-25-24

BY: JJB
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SHEET NO.
C-4
OF 7



SOIL EROSION AND SEDIMENT CONTROL NOTES:

"The soil erosion inspector may require additional soil erosion measures to be installed, as directed by the district inspector, in accordance with the "Standards for Soil Erosion and Sediment Control in New Jersey", 7th Edition, January 2014, Revised July 2017.

- All applicable erosion and sediment control practices shall be in place prior to any grading operation and/or installation of proposed structures or utilities.
- Soil erosion and sediment control practices on this plan shall be constructed in accordance with the standards for soil erosion and sediment control in New Jersey.
- Applicable erosion and sediment control practices shall be left in place until construction is completed and/or the area is stabilized.
- Any disturbed area that is to be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and fertilization in accordance with the new jersey standards, and their rates should be included in the narrative. If the season prohibits temporary seeding, the disturbed areas will be mulched with salt hay or equivalent and anchored in accordance with the new jersey standards (i.e. peg and twine, mulch netting or liquid mulch binder).
- It shall be the responsibility of the developer to provide confirmation of lime, fertilizer and seed application and rates of application at the request of the soil conservation district.
- All critical areas subject to erosion will receive a temporary seeding in combination with straw mulch at a rate of 2 tons per acre, according to the New Jersey standards immediately following rough grading.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All sedimentation structures will be inspected and maintained on a regular basis and after every storm event.
- 16. NJSA 4:24-39, et seq. requires that no certificate of occupancy be issued before all provisions of the certified soil erosion and sediment control plan have been complied with for permanent measures. All site work for the project must be completed prior to the district issuing a report of compliance as a prerequisite to the issuance of a certificate of occupancy by the municipality.
- Mulching is required on all seeded areas to insure against erosion before grass is established to promote earlier vegetation cover.
- Offsite sediment disturbance may require additional control measures to be determined by the erosion control inspector.
- The soil conservation district shall be notified 48 hours prior to any land disturbance.
- Any changes to the site plan will require the submission of a revised soil erosion and sediment control plan to the soil conservation district. The revised plan must be in accordance with the current New Jersey standards for soil erosion and sediment control.
- Adjoining properties shall be protected from excavation and filling operations on the proposed site.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

STRUCTURAL MEASURES

- STABILIZED CONSTRUCTION ENTRANCE:** The Contractor shall construct a temporary stone apron at the designated entrance to the site to limit mud tracking onto area roadways. It shall consist of ASTM C-39, 3/4" x 2 1/2" crushed stone surface 30' wide x 10' long x 8" deep.
 - Each bale shall be embedded in the soil a minimum of 4'.
 - Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Bales shall be securely anchored in place by stakes, steel pickets, or rebar driven through the bales. The first stake in each bale shall be angled toward the property to be stabilized.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - The sediment collected along the hay bales shall be periodically gathered and placed on the site.
 - Bales shall be removed when they have served their usefulness so as not to block or impeded storm flow or drainage.
- HAY BALE DAM:** The Contractor shall construct a Hay Bale Dam around all stockpile areas. The Hay Bale Dam shall be constructed with the following provisions:
 - Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Each bale shall be embedded in the soil a minimum of 4'.
 - Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - The sediment collected along the hay bales shall be periodically gathered and placed on the site.
 - Bales shall be removed when they have served their usefulness so as not to block or impeded storm flow or drainage.
- SILT FENCE:** A silt fence shall be constructed at locations shown on the Engineering Plan. Installation shall be as follows:
 - Install fence posts 8' c.c. on a slight angle toward the anticipated runoff source.
 - Dig 4" x 4" trench along the spiral side of the fence line.
 - Lay out all fence fabric along post line.
 - Wrap fabric around the first post and be secure with cord.
 - Take fabric to the next post and make at 1 1/2" slit in the fabric directly above the cord.
 - Repeat above step until last post is reached, wrap fabric around the post and secure with the cord.
 - Drive the lower 4" of fabric in the trench, curled up-kill.
 - Back fill trench.
- LOW POINT INLET SEDIMENT FILTER:** The Contractor shall construct low point inlet sediment filter at those locations on the Engineering Plan to prevent erosion of sediment into the stormwater management system and surface water bodies. The Inlet Sediment Filter shall consist of:
 - Hardbase cloth or comparable mesh with 1/2" openings shall be placed over the curb inlet opening so that at least 12" of wire extends across the concrete gutter from the inlet opening.
 - Stone shall be piled against the wire so as to anchor it against the gutter and inlet curb and to cover the inlet opening completely. Two to three inches of coarse aggregate shall be used.
 - If the stone filter becomes clogged and sediment so that it no longer adequately performs its function, the stone must be pulled away from the inlet, cleaned and replaced.

NON-STRUCTURAL MEASURES

- PERMANENT VEGETATION:** Immediately following the completion of construction activities at the site, the Contractor shall stabilize all permanent vegetative cover at exposed and disturbed soils. Permanent vegetative cover shall be accomplished as specified below:
 - Topsoiling-The Contractor shall prepare areas to be established with permanent vegetative cover by applying topsoil to a uniform depth of 4". Topsoil shall be stable and loamy of good quality.
 - Seeded Preparation-Immediately following topsoiling the Contractor shall apply balanced fertilizer (maximum at the rate of 50 pounds per 1000 square feet and fertilizer (10-20-10) at the rate of 14 pounds per 1000 square feet. The lime and fertilizer shall be worked into the soil by a rotary tillage implement or other suitable equipment.
 - Seeding-Seed shall consist of 1 1/2 percent ryegrass, 23% chewing red fescue, 23% Kentucky bluegrass, applied at the rate of 3 pounds per 1000 square feet.
 - Apply mulch uniformly after placement through use of Peg and Twine method (if other approved method).
 - Seeding Dates: 2/15-5/1 or 8/15-10/15. If seed is not planted within these dates, the Contractor shall stabilize with mulch.
- TEMPORARY VEGETATIVE COVER**
 - Prior to habing construction for periods longer than 90 days and during the off-season, the Contractor shall stabilize with temporary vegetative cover at exposed soils.
 - Temporary stabilization shall be accomplished by the following methods and Materials: Type Rate Time (pounds per 1000 sq ft) 10000sf Fertilizer 10-20-10 14 lbs/1000sf seed annual ryegrass 3 lbs/1000sf straw straw or net hay 75 lbs/1000sf

MATERIALS

- Work line and fertilizer into soil to a depth of 2" with a disc, springtooth harrow, or other suitable equipment.
- Apply seed at the given rate and firm with a roller or light drag.
- Apply mulch uniformly by hand or mechanically. Mulch anchoring shall be accomplished immediately after placement through use of Peg and Twine Method (if other approved method).
- Seed Dates: 2/15-5/1 or 8/15-10/15. (May be planted throughout summer of soil moisture is adequate or can be irrigated). If seed is not planted within these dates, the Contractor shall stabilize with mulch.

STABILIZATION WITH MULCH ONLY: Apply unrotted straw or salt hay at the rate of 7000-10000 sf. It shall be anchored immediately through the use of Peg and Twine Method.

PEG AND TWINE METHOD OF MULCH ANCHORING: Drive 8-10" wooden pegs to within 2 to 3 inches of the soil surface every 4' in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a cross-hatch and a square pattern. Secure twine around each peg with two or more turns.

DUST CONTROL: To control dust generation on-site, the Contractor shall construct traffic routes and staging areas.

MAINTENANCE

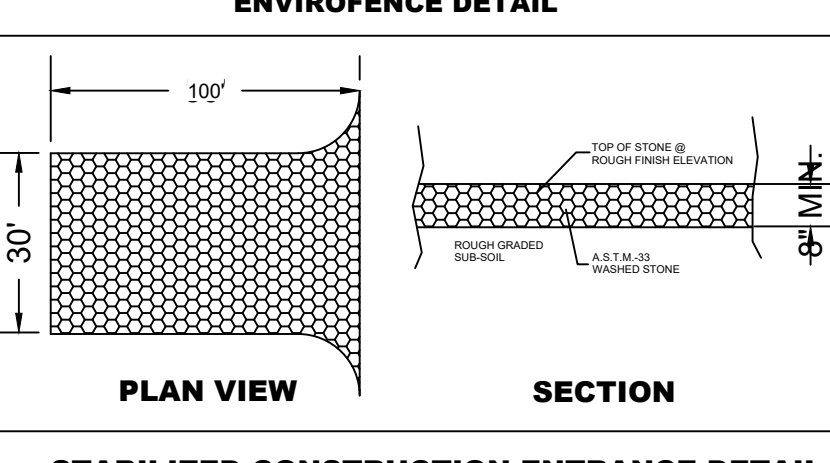
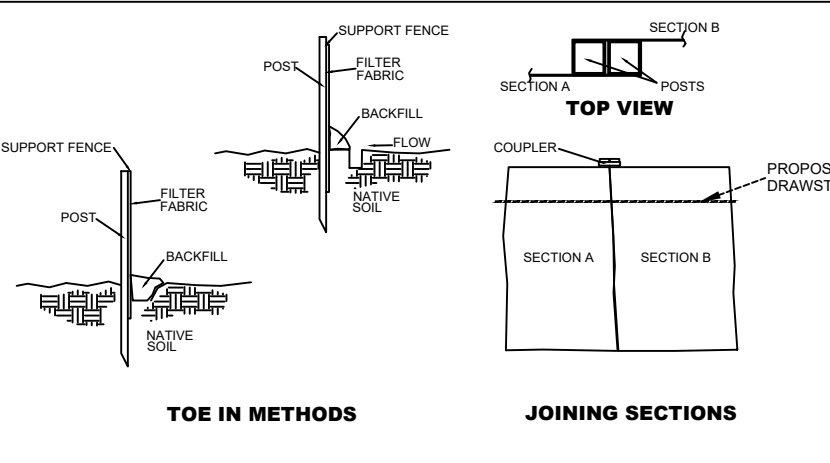
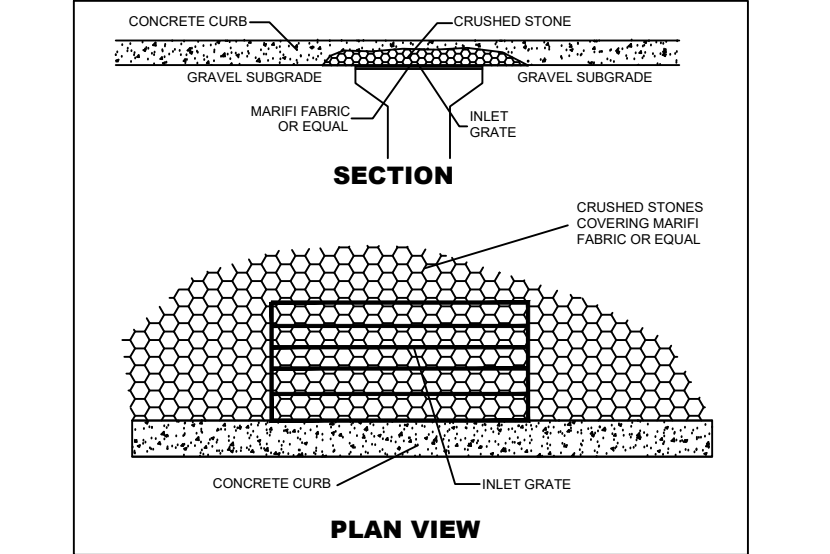
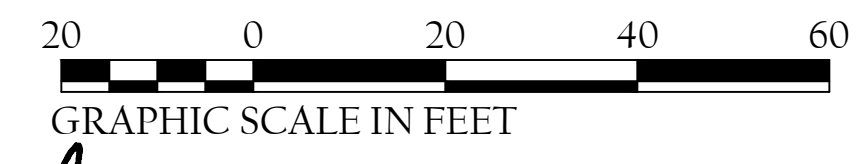
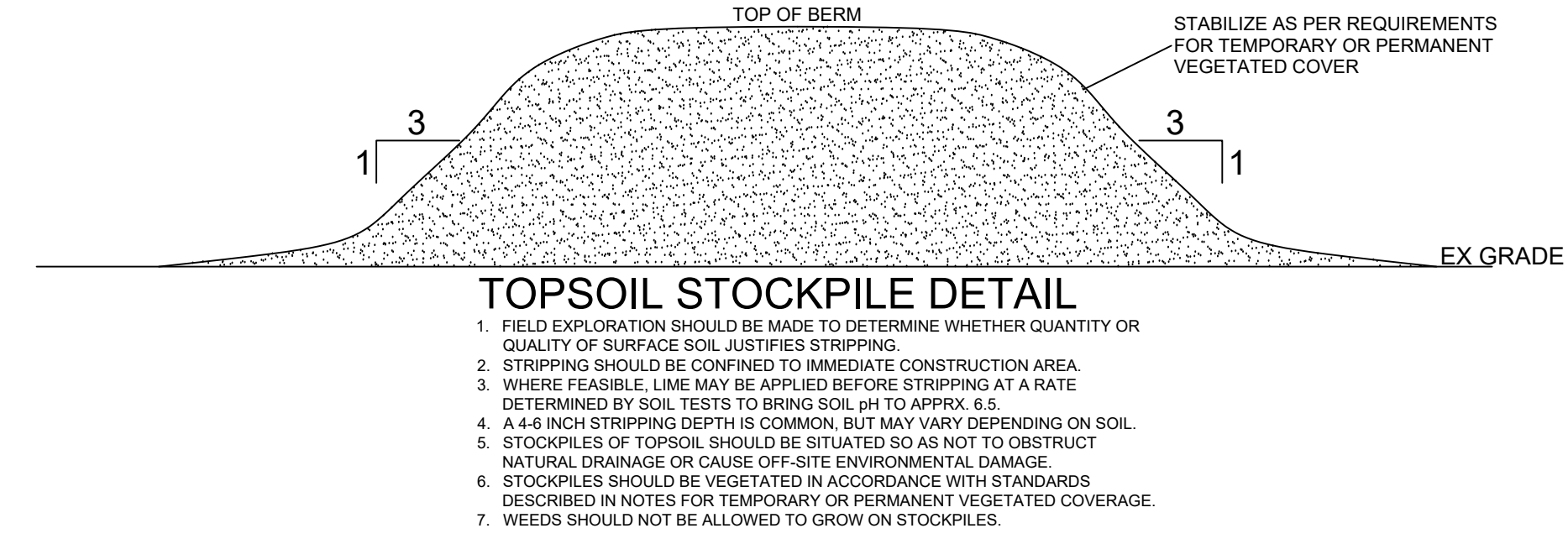
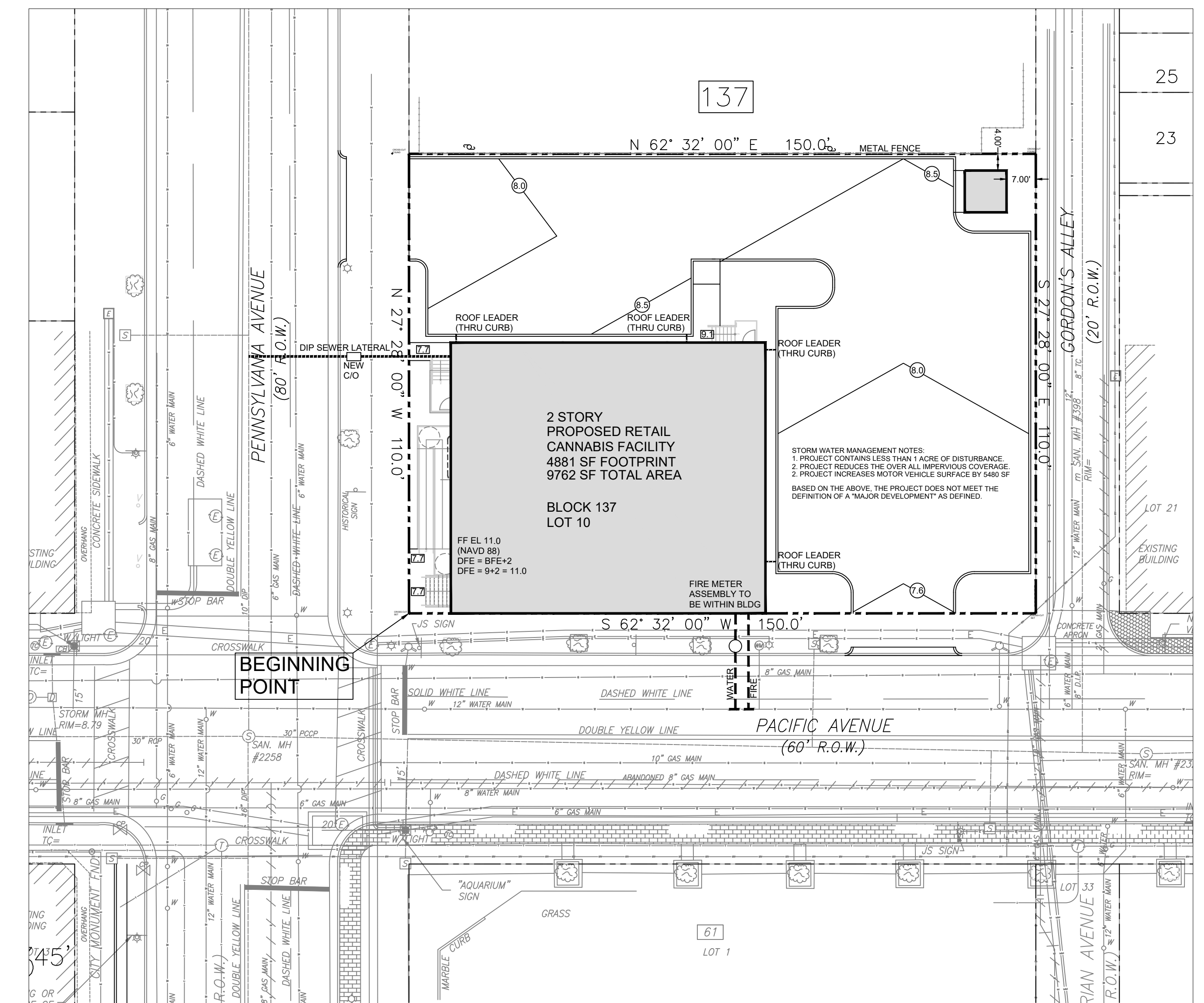
- Maintenance shall occur on a regular basis consistent with favorable plant growth, soils and climatic conditions.
- When it becomes necessary, the Owner will inform the Contractor of unsatisfactory conditions of erosion and sediment devices, at such time the Contractor shall improve the conditions of said devices to meet with the approval of the Owner.
- Should unforeseen adverse conditions develop during construction, the Contractor shall take steps to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement.
- Seeded areas that have been washed away shall be filled and graded as necessary and then reseeded. This procedure shall be repeated after each storm or until no more signs of erosion are evident.
- The sediment collected along the temporary diversions shall be periodically gathered and placed back on the site.

GENERAL

- Existing vegetative cover beyond the limits of construction shall be retained until final stabilization is complete.
- The Contractor shall schedule and conduct his operations to minimize erosion of soil and to prevent silt and mud from entering streams, rivers, irrigation systems and impoundments (lakes, reservoirs, etc.). Construction of drainage facilities and performance of that work which will contribute to the control of erosion and sedimentation shall be carried out in conjunction with earthwork operations or as soon thereafter as practicable.
- When borrow material is obtained from other than commercially operated sources, the borrow site shall be controlled both during and after completion of the work that erosion will be minimized and sediment will not enter streams or other bodies of water. Waste or disposal areas and construction roads shall be located and constructed in a manner that will keep sediment from entering streams.
- When work areas are located in or adjacent to live streams, such areas shall be separated from the main stream by a dike or other barrier to keep sediment from entering a flowing stream.
- Water from aggregate washing or other operation containing sediment shall be treated by filtration, a settling basin or other means sufficient to reduce the sediment content to not more than that of the stream into which it is discharged.
- Materials such as fuels, lubricants, solvents, raw sewage and other harmful materials shall not be discharged into or near rivers, streams and impoundments or into natural or man-made channels leading thereon. Wash water or waste from concrete mixing operations shall not be allowed to enter live streams.

CONSTRUCTION SCHEDULE

- Construct temporary soil erosion and sediment control measures.
- Cleaning and grubbing.
- Install underground utilities and exchange basin. Establish permanent cover.
- Rough grading.
- Construction of building.
- Final grading.
- Collect soil and sediment and place back on site.
- Permanent stabilization of site.
- Landscape treatment.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

MISCELLANEOUS:

- A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE, FINAL AND CONDITIONAL, TEMPORARY CERTIFICATES.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

ELEVATION LEGEND

X'XX" = EXISTING SPOT ELEVATION NAVD88
 XXX' X" = EXISTING BOTTOM OF CURB ELEVATION
 XXX' X" = EXISTING TOP OF CURB ELEVATION

ARTHUR PONZIO & ASSOCIATES, INC. ENGINEERS & SURVEYORS
 400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
 PHONE: 609-344-8194 FAX: 609-344-1594
 NEW JERSEY STATE AUTH. NO.: 24GA28001300

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

ARTHUR PONZIO CO.
 ENGINEERS & SURVEYORS
 PLANNERS

JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33L100581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33L100267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

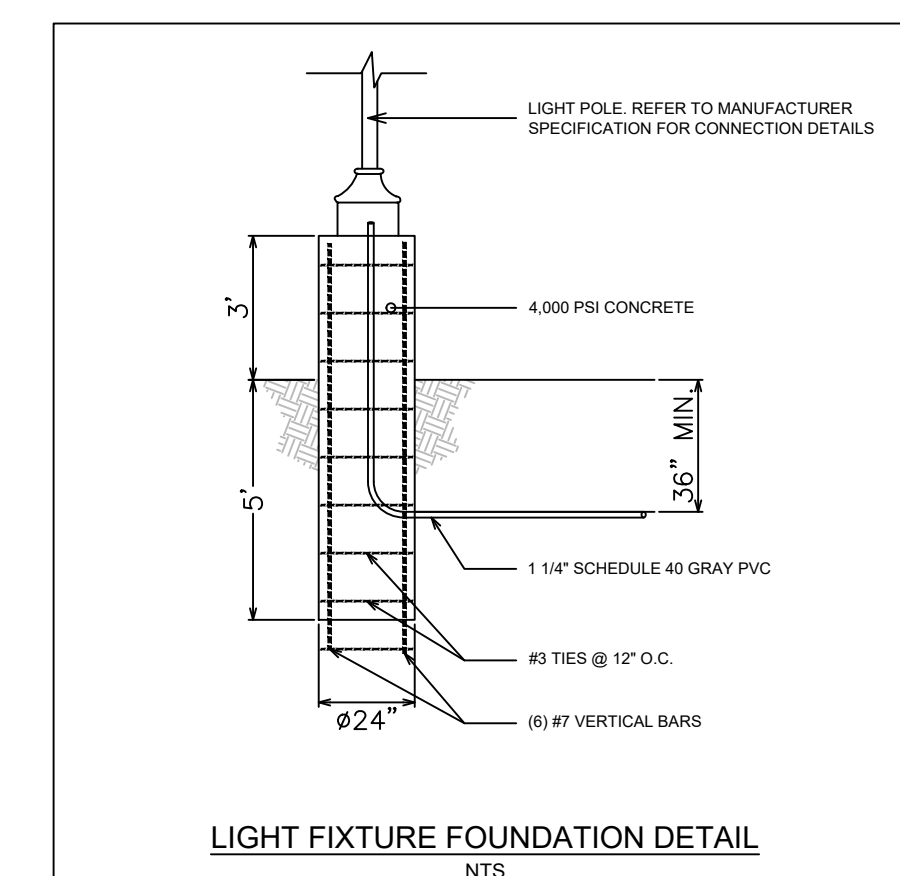
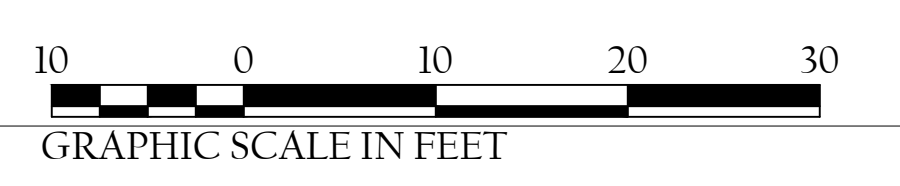
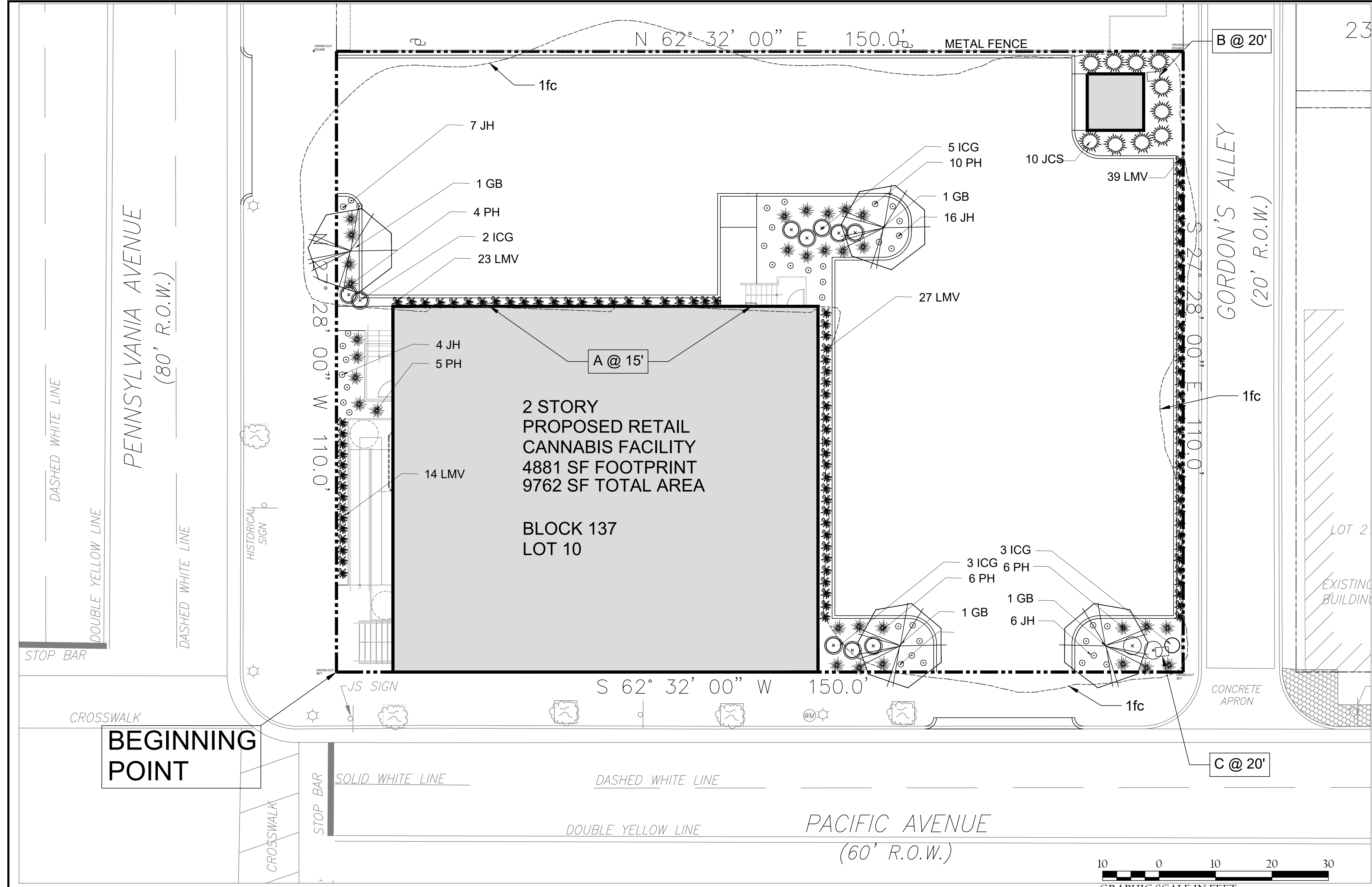
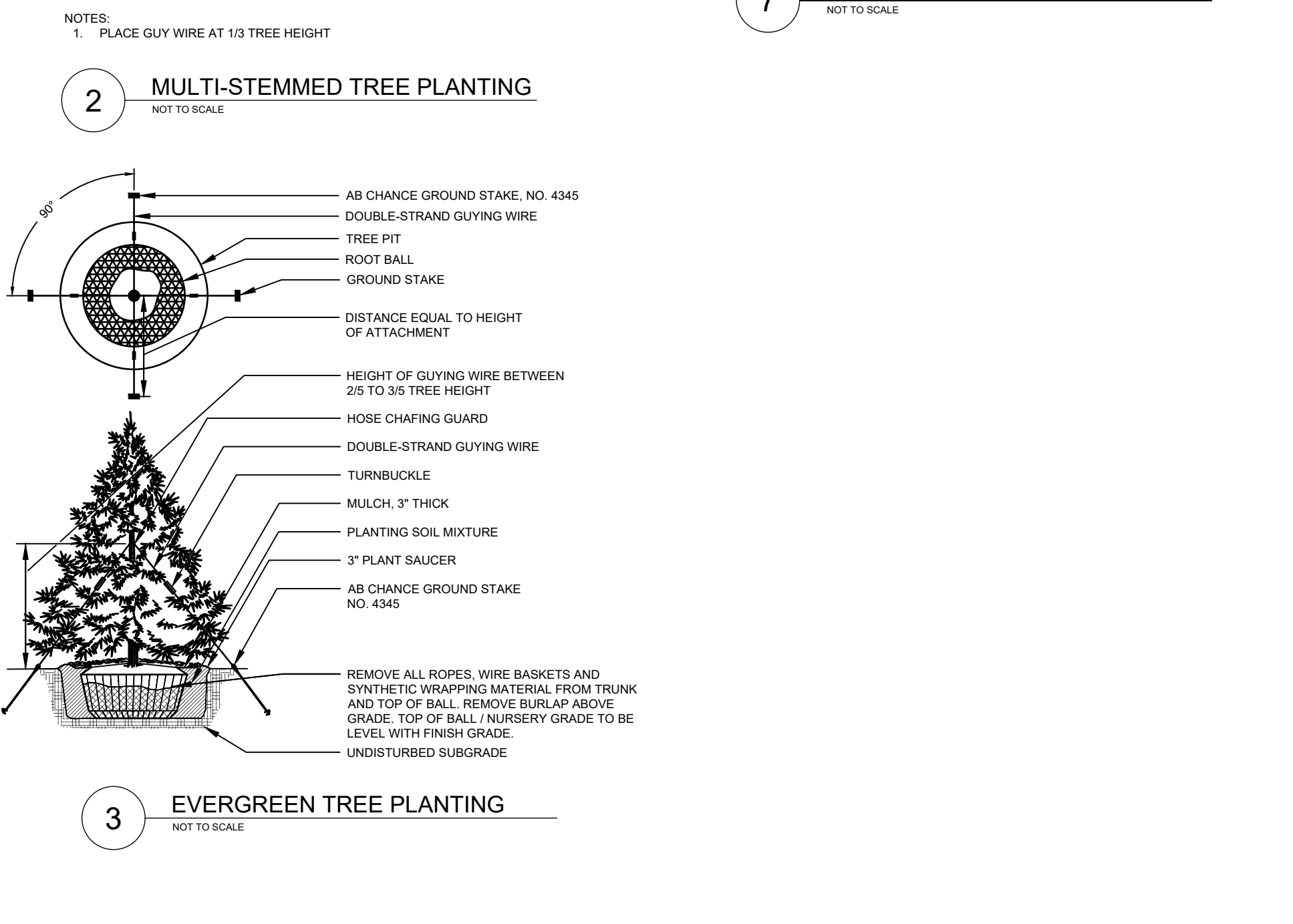
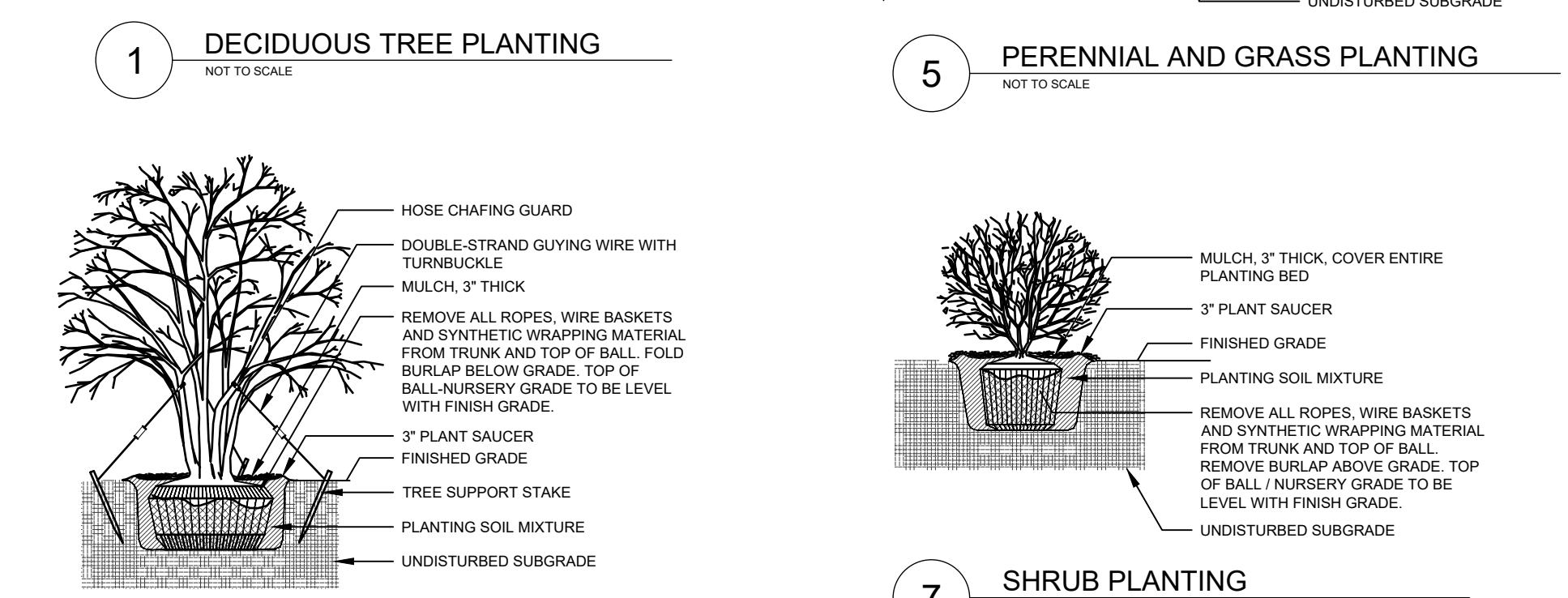
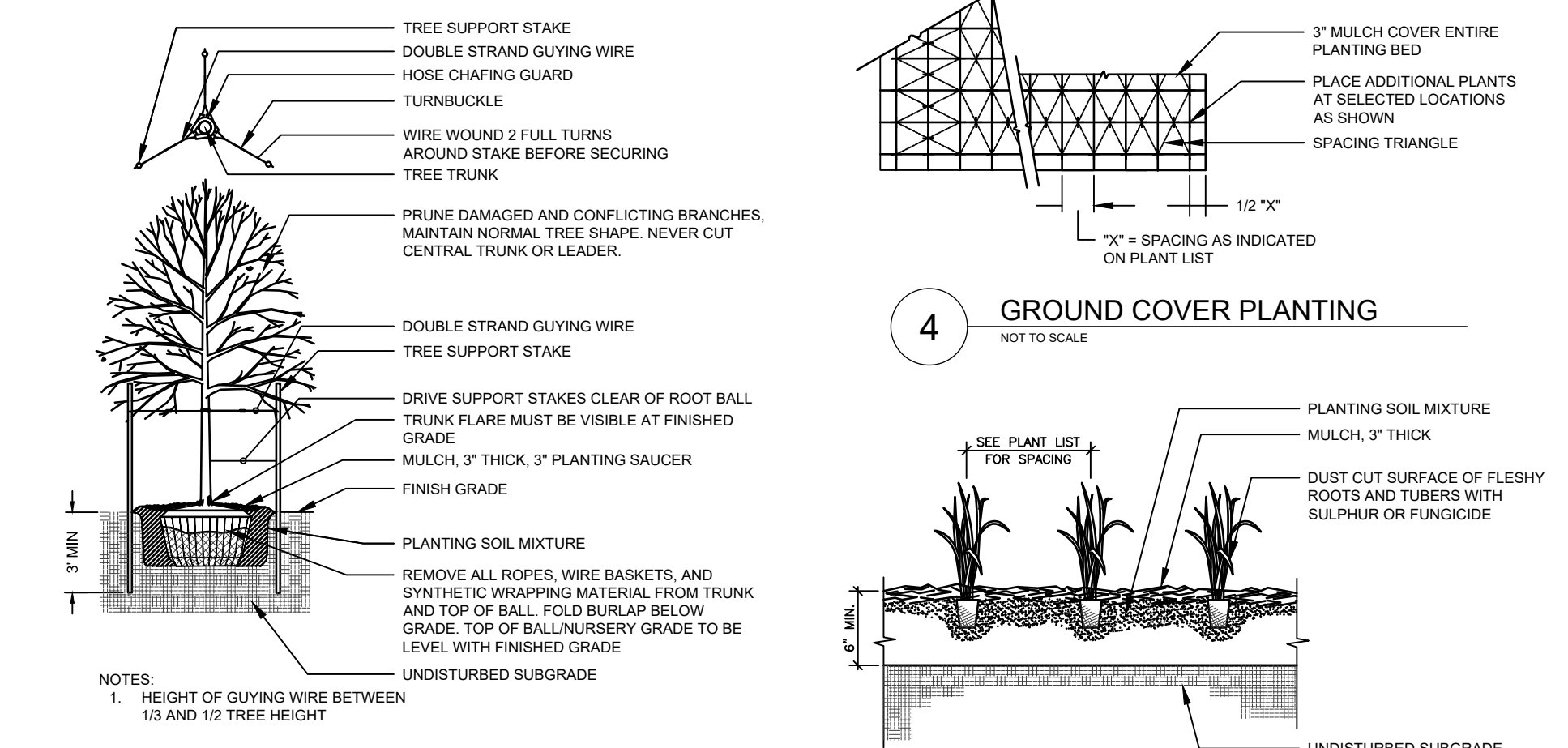
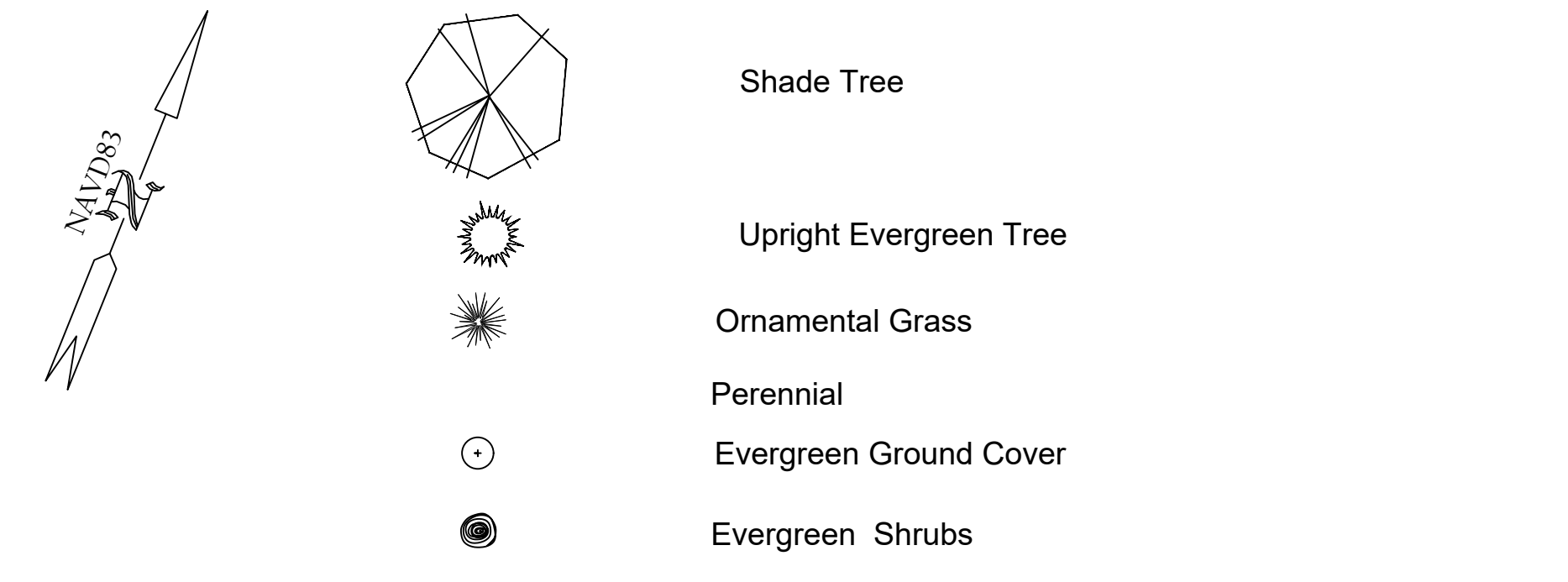
SOIL EROSION & SEDIMENT CONTROL PLAN
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 20'
 DATE: 1-25-24

BY: JJB
 PROJ. NO.: 41234

SHEET NO. **C-5**
 SHEET 5 of 7

LANDSCAPE LEGEND:



ABR	Botanical Name	Common Name	Size	Root	QTY	Comments
JCS	Juniperus Chinensis 'Spartan'	Spartan Juniper	6'-8'-0"	B&B	10	
GB	Ginkgo Biloba	Ginkgo	2 Cal.	B & B	4	
JH	Juniperus Horizontalis Wiltoni	Bar Harbor Juniper	2 Gal.	Cont.	39	
IC	Ilex crenata 'Soft Touch'	Soft Touch Holly	3 Gal.	Cont.	13	
LMV	Liriope muscari 'Big Blue'	Big Blue Lilly Turf	1 Gal.	Cont.	103	
PH	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Dwarf Fountain Grass	1 Gal.	Cont.	33	

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output
A			2	Lithonia Lighting	DSXW2 LED 30C 1000 50K TFTM MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 1000mA DRIVER, 5000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	11190
B			1	Lithonia Lighting	DSX0 LED P7 50K 80CRI LCDD	D-Series Size 0 Area Luminaire P7 Performance Package 5000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control	1	13750
C			1	Lithonia Lighting	DSX0 LED P7 50K 80CRI RCDD	D-Series Size 0 Area Luminaire P7 Performance Package 5000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	1	13750

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ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATORY REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PROFESSIONAL STANDARDS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE HIGH VOLTAGE PROMINENCY ACT, STATE OF NEW JERSEY, ADOPTED 7/21/88 AS PL 048-348, THE NEW JERSEY UNIFORM CONSTRUCTION CODE, I.C.C. ASTM SPECIFICATIONS, ALL LOCAL ORDINANCES AND PERMIT CONDITIONS.

ARTHUR PONZIO CO. RESPONSIBILITIES DO NOT INCLUDE THE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION

ARCO ARTHUR PONZIO CO. ENGINEERS & SURVEYORS PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
 PHONE: 609-344-8194 FAX: 609-344-1594
 NEW JERSEY STATE AUTH. NO.: 24GA28001300

JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33LI00581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

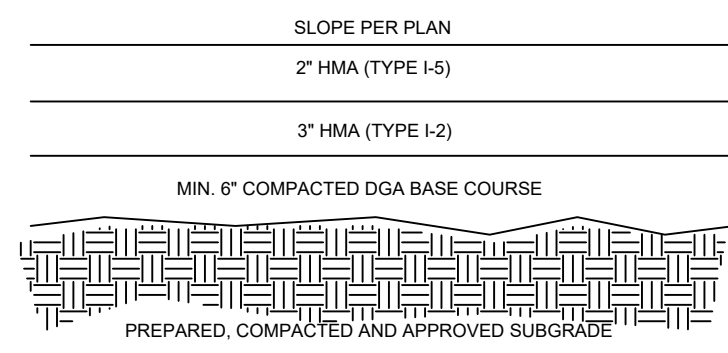
ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33LI00267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

LANDSCAPE & LIGHTING PLAN
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
 DATE: 1-25-24

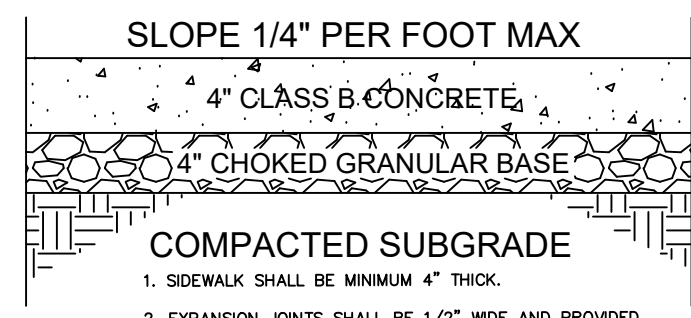
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 PROJ. NO.: 41234

SHEET NO. **C-6**
 SHEET 6 of 7



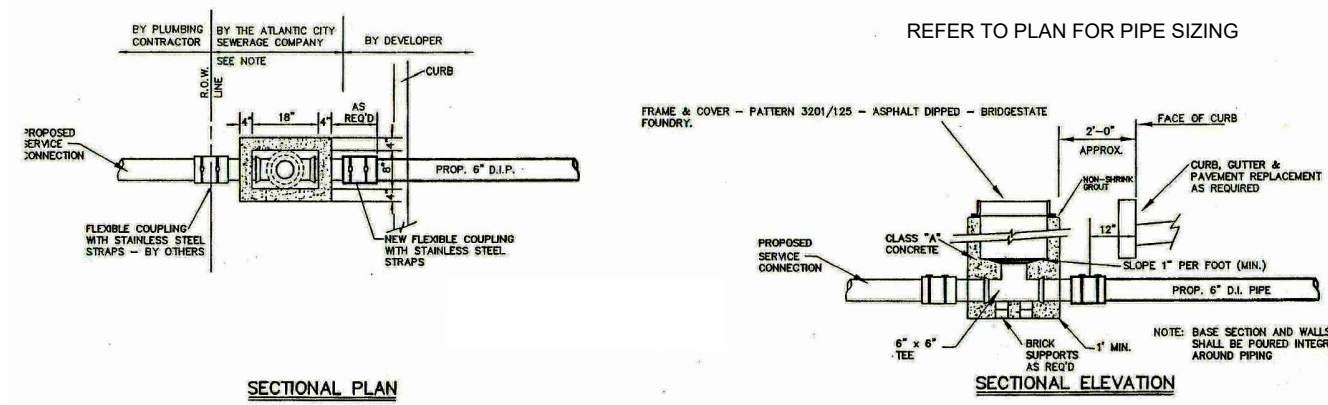
1 ON-SITE ASPHALT PAVEMENT

ALL CONCRETE UTILIZED FOR INSTALLATION OF SIDEWALK SHALL BE CLASS B, MINIMUM DESIGN STRENGTH OF 4000 PSI AT 28 DAYS, AIR ENTRAINED

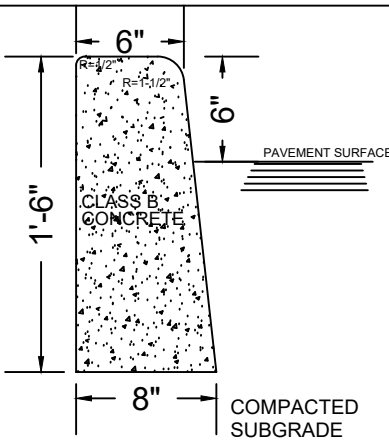


1. SIDEWALK SHALL BE MINIMUM 4" THICK.
2. EXPANSION JOINTS SHALL BE 1/2" WIDE AND PROVIDED AT INTERVALS NO GREATER THAN 20 FEET AND SHALL BE FILLED WITH 1/2" THICK CELLULAR COMPRESSION MATERIAL TO WITHIN 1/4" OF TOP OF WALK.
3. SURFACE GROOVES SHALL BE CUT AT LEAST 1/4" DEEP AT RIGHT ANGLES TO THE LINE OF THE SIDEWALK AND AT INTERVALS EQUAL TO SIDEWALK WIDTH.
4. SURFACE EDGES SHALL BE ROUNDED TO 1/2" RADIUS.
5. FINISH SHALL BE WOOD FLOAT, FOLLOWED BY BROOMING TO A NEAT, WORKMANLIKE SURFACE.

2 SIDEWALK DETAIL

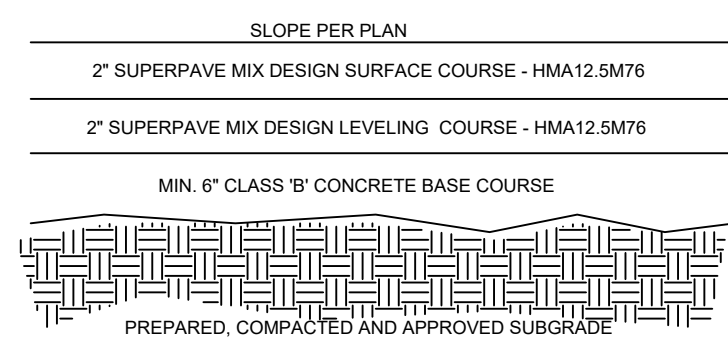


3 SANITARY SERVICE BOX DETAIL

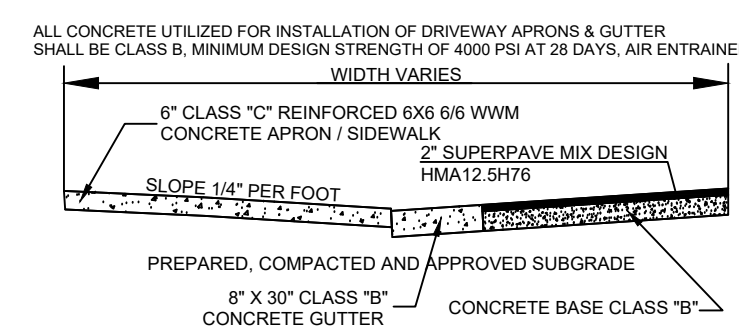


ALL CONCRETE UTILIZED FOR INSTALLATION OF SIDEWALK SHALL BE CLASS B, MINIMUM DESIGN STRENGTH OF 4000 PSI AT 28 DAYS, AIR ENTRAINED

4 CONCRETE CURB DETAIL (ON-SITE)

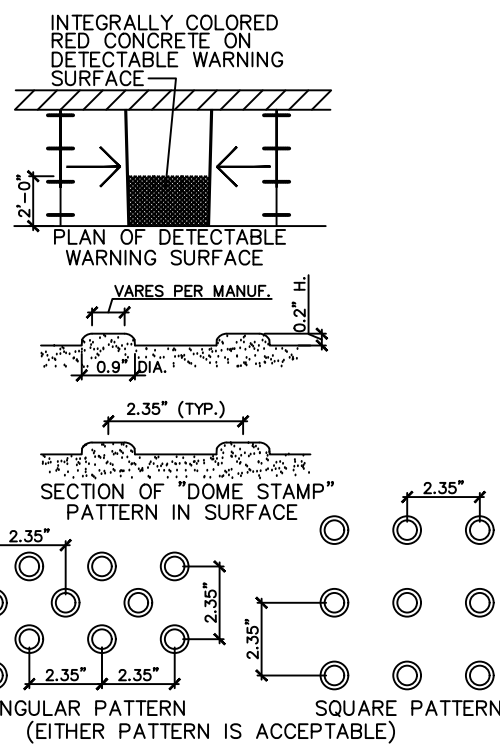


5 ASPHALT PAVING DETAIL (CITY R.O.W.)

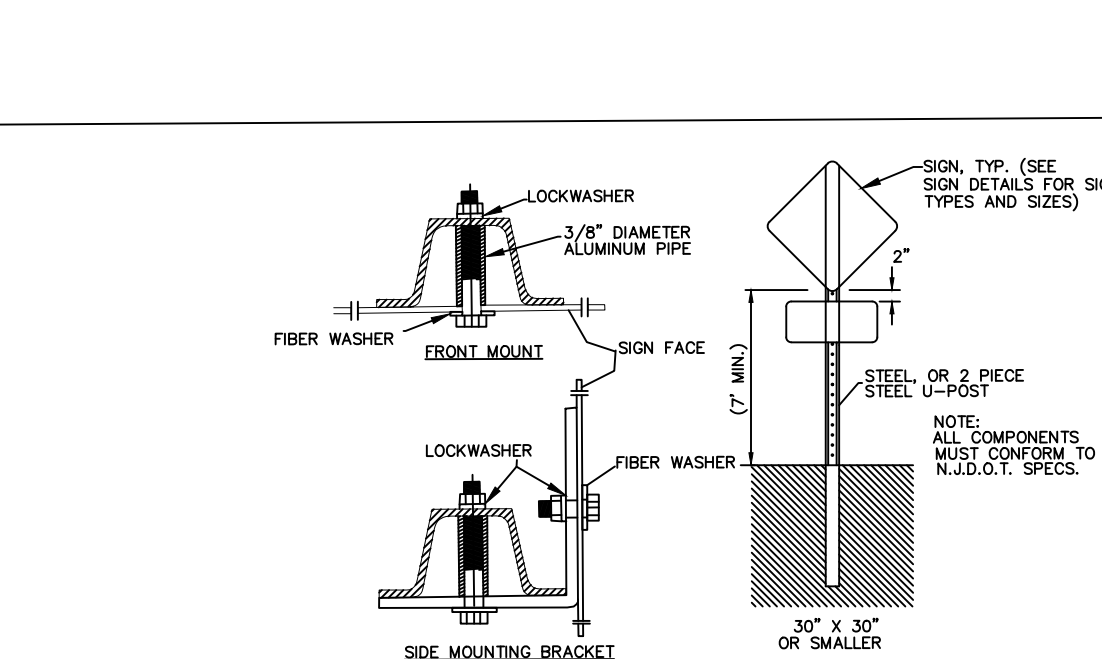


6 SECTION THROUGH ROADWAY (INCLUDING CONCRETE GUTTER)

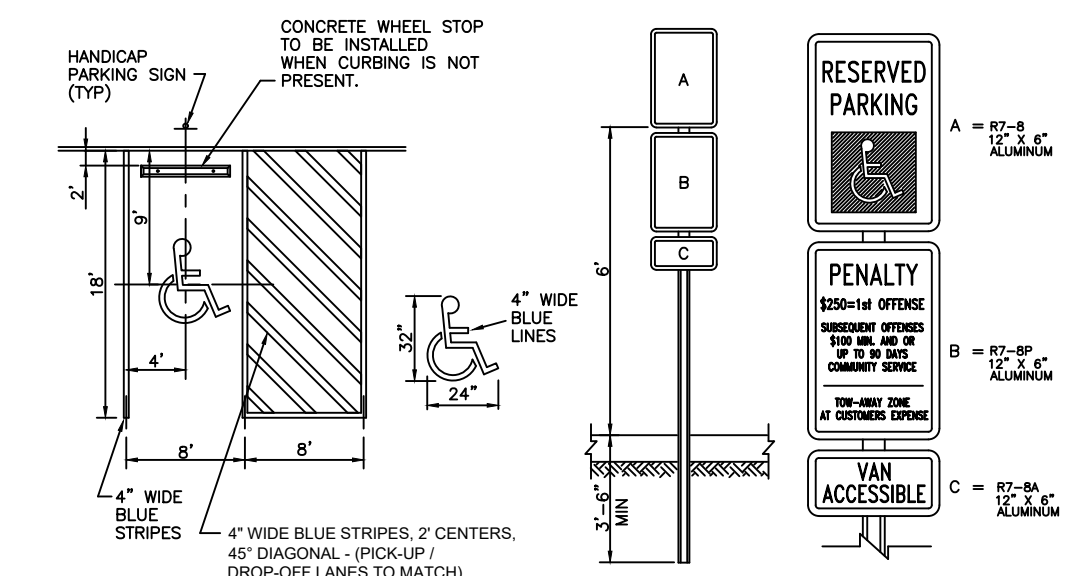
PLAN OF "DOME STAMP" PATTERN IN SURFACE
CURB RAMP MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (MID-WALK "IN-LINE" RAMP) ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION. THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE.



7 ACC. RAMP WARNING STRIP DETAILS



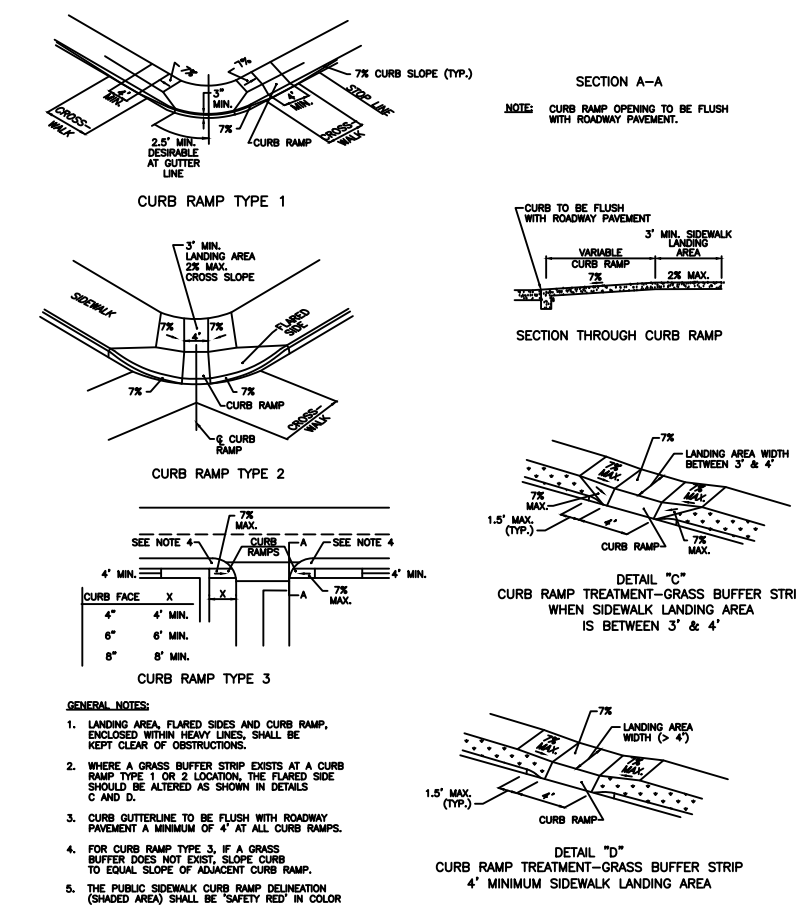
8 SIGN MOUNTING DETAILS



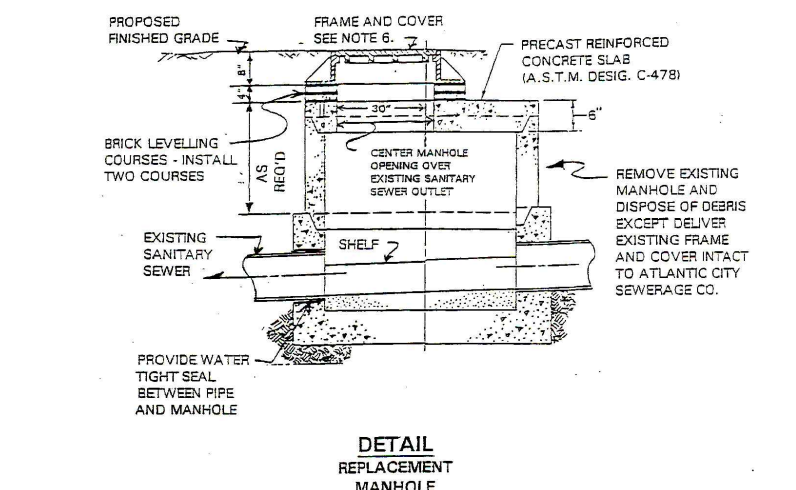
8 HANDICAPPED PARKING DETAIL



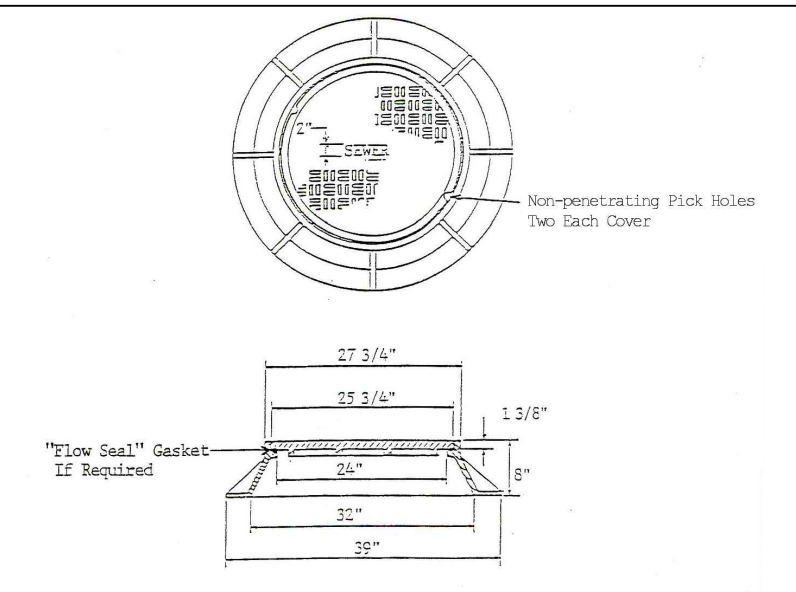
9 TRAFFIC SIGNS (IF REQUIRED)



10 ADA CURB RAMP DETAILS



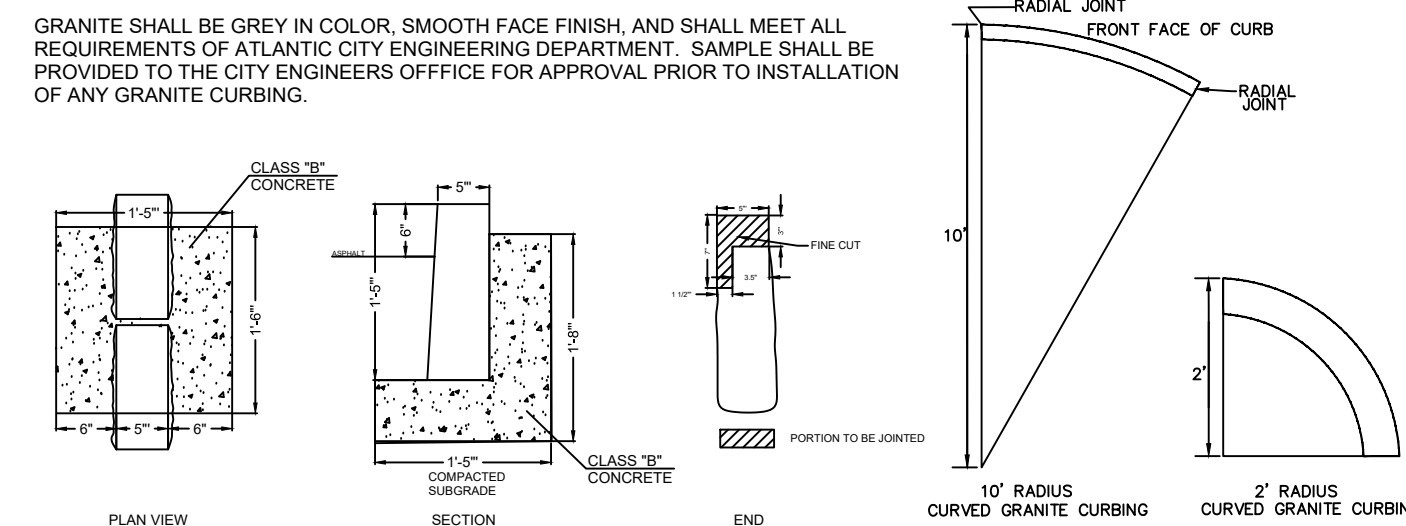
11 REPLACEMENT SANITARY MANHOLE DETAIL (IF REQUIRED BY ASCO DUE TO FIELD CONDITIONS)



12 SANITARY MANHOLE COVER DETAIL

ALL CONCRETE UTILIZED FOR INSTALLATION OF GRANITE CURB SHALL BE CLASS B, MINIMUM DESIGN STRENGTH OF 4000 PSI AT 28 DAYS, AIR ENTRAINED

GRANITE SHALL BE GREY IN COLOR, SMOOTH FACE FINISH AND SHALL MEET ALL REQUIREMENTS OF ATLANTIC CITY ENGINEERING DEPARTMENT. SAMPLE SHALL BE PROVIDED TO THE CITY ENGINEERS OFFICE FOR APPROVAL PRIOR TO INSTALLATION OF ANY GRANITE CURBING.



13 GRANITE CURBING (ATLANTIC CITY SPECIFICATIONS - CITY R-O-W)

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NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
REVISIONS							

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SITE DETAILS
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE
DATE: 1-25-24

BY: JJB
PROJ. NO.: 41234

SHEET NO.
C-7
OF 7