

SIX NINETEEN PROPERTY MANAGEMENT, LLC

CANNABIS RETAIL DISPENSARY

PRELIMINARY & FINAL MAJOR SITE PLAN

BLOCK 137 LOT 10

ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

NOTE:

ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.

METHOD FOR DETERMINING FLOOD HAZARD AREA AND FLOODWAY - METHOD 2 (FEMA TIDAL METHOD) SITE LIES WITHIN FEMA ZONES A-8 AS SHOWN ON FIRM COMMUNITY PANEL #345278 0006D (8/15/83) (WITHIN 100 YEAR FLOOD PLAIN, WITH BASE ELEVATIONS 10.0 (NGVD 29 DATUM) AS WELL AS THE PRELIMINARY FIRM FLOOD DESIGNATION AE9

NOTE: ALL TOPOGRAPHY SHOWN ON THESE DOCUMENTS REFERENCE NAVD 88 DATUM. CONVERSION: NAVD 88 + 1.30 = NGVD 29

SITE LIES WITHIN FLOOD ZONE AE 9 AS SHOWN ON THE PRELIMINARY FIRM MAPPING. BASE FLOOD ELEVATION = 9.0 (NAVD 88). ATLANTIC CITY ORDINANCE REQUIREMENT FOR FINISHED FLOOR ELEVATION = BFE + 2 = 11.0 (NAVD 88)

LIST OF PROPERTY OWNERS WITHIN 200 FT UNDER SEPARATE COVER

| | |
|--|--------------|
| Approved by Resolution # _____ | Dated: _____ |
| CRDA Planner _____ | Date: _____ |
| CRDA Engineer _____ | Date: _____ |
| CRDA Land Use Regulation & Enforcement Officer _____ | Date: _____ |
| CRDA Hearing Officer _____ | Date: _____ |

INDEX OF CIVIL DRAWINGS:

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PRELIMINARY & FINAL MAJOR SITE PLAN
BLOCK 137 LOT 10
TAX MAP SHEET #26 (1015 PACIFIC AVE)

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ARTHUR PONZIO CO. RESPONSIBILITIES DO NOT INCLUDE THE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

| NO. | DATE | BY | DESCRIPTION | NO. | DATE | BY | DESCRIPTION |
|-----------|--------|-----|----------------------|-----|------|----|-------------|
| 1 | 4-8-24 | JJB | REV PER COMPLETENESS | | | | |
| REVISIONS | | | | | | | |

ARCO ARTHUR PONZIO CO.
ENGINEERS & SURVEYORS
PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

JON J. BARNHART
PROFESSIONAL PLANNER N.J. NO. 33LI00581500
PROFESSIONAL ENGINEER N.J. NO. GE43483

ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

TITLE SHEET
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE
DATE: 1-25-24

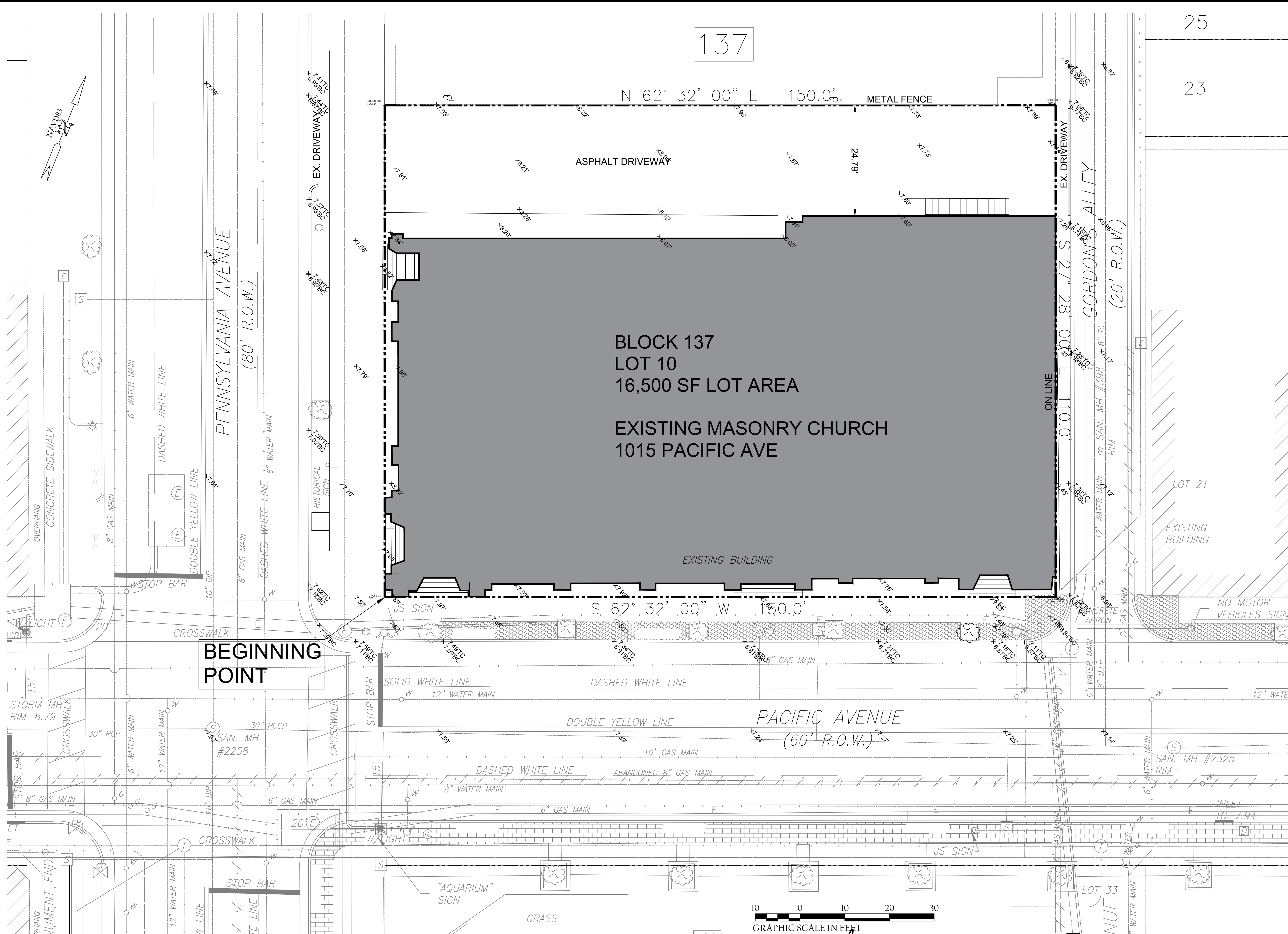
BY: JJB
PROJ. NO.: 41234

SHEET NO.
C-1
SHEET 1 of 7

137

25

23



- GENERAL NOTES**
- SUBJECT PROPERTY LIES IN FEMA FLOOD DESIGNATION A99 SHOWN ON THE PRELIMINARY WORK MAPS.
 - SUBJECT PROPERTY CONTAINS A CALCULATED AREA OF 16500 SF.
 - PERMANENT MARKERS HAVE BEEN FOUND OR SET AS INDICATED.
 - OFFSETS SHOWN ARE GIVEN FOR CHECKING COMPLIANCE WITH DEED RESTRICTIONS AND ZONING REGULATIONS ONLY. OFFSETS SHALL NOT BE USED FOR ANY OTHER PURPOSES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY IF THE OFFSETS SHOWN ARE USED OTHER THAN AS INTENDED.
 - THIS PROPERTY IS SUBJECT TO DOCUMENTS OF RECORD, UNDERGROUND IMPROVEMENTS, EASEMENTS, PROPERTY LINE AGREEMENTS OR OTHER CONDITIONS UNKNOWN TO THE SURVEYOR ARE NOT SHOWN. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD ANY SUCH INFORMATION BECOME AVAILABLE.
 - SURVEYOR'S SIGNATURE AND SEAL SIGNIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION. ONLY SIGNED SEALED COPIES SHALL BE CONSIDERED AS TRUE COPIES.
 - THE ILLUSTRATION OF RIPARIAN CLAIMS OR RIGHTS, OR UNREGULATED OR REGULATED WETLANDS IMPACTING SUBJECT PROPERTY, IF ANY, ARE NOT INCLUDED AS A PART OF SURVEYOR'S CONTRACT WITH CLIENT. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD CLIENT REQUEST THESE ADDITIONAL SERVICES.
 - THIS SURVEY HAS BEEN PREPARED ONLY FOR THE USE OF THE NAMED PARTIES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY FOR USE WITH SURVEY AFFIDAVIT, OR FOR USE BY ANY OTHER PERSON OR ENTITY NOT SPECIFICALLY NAMED, FOR ANY REASONS OTHER THAN AS ORIGINALLY INTENDED.
 - THE DETECTION, LOCATION OR IDENTIFICATION OF HAZARDOUS SUBSTANCES OR UNDERGROUND CONDITIONS NOT VISIBLE AT TIME OF SURVEY ARE NOT INCLUDED AS PART OF SURVEYOR'S CONTRACT WITH CLIENT.
 - ALL EXISTING SPOT ELEVATIONS AND CONTOURS INDICATED IN NAV88 DATUM.

HORIZONTAL DATUM - NAD 83
 VERTICAL DATUM - NAVD 88

NOTE:
 A WAIVER IS REQUESTED FROM PROVIDED EXISTING CONTOURS AT 1 FT INTERVALS. THE SITE CONTAINS LESS THAN 1 FT OF ELEVATION CHANGE

CERTIFIED TO:
 STEARNS BANK N.A.
 4191 2ND STREET SOUTH
 ST CLOUD, MN 56301
 THE TITLE COMPANY OF JERSEY

PRELIMINARY & FINAL MAJOR SITE PLAN
 BLOCK 137 LOT 10
 TAX MAP SHEET #26 (1015 PACIFIC AVE)



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ARCO ARTHUR PONZIO CO.
 ENGINEERS & SURVEYORS
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 PHONE: 609-344-8194 FAX: 609-344-1594
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Jon J. Barnhart
JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33LI00581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

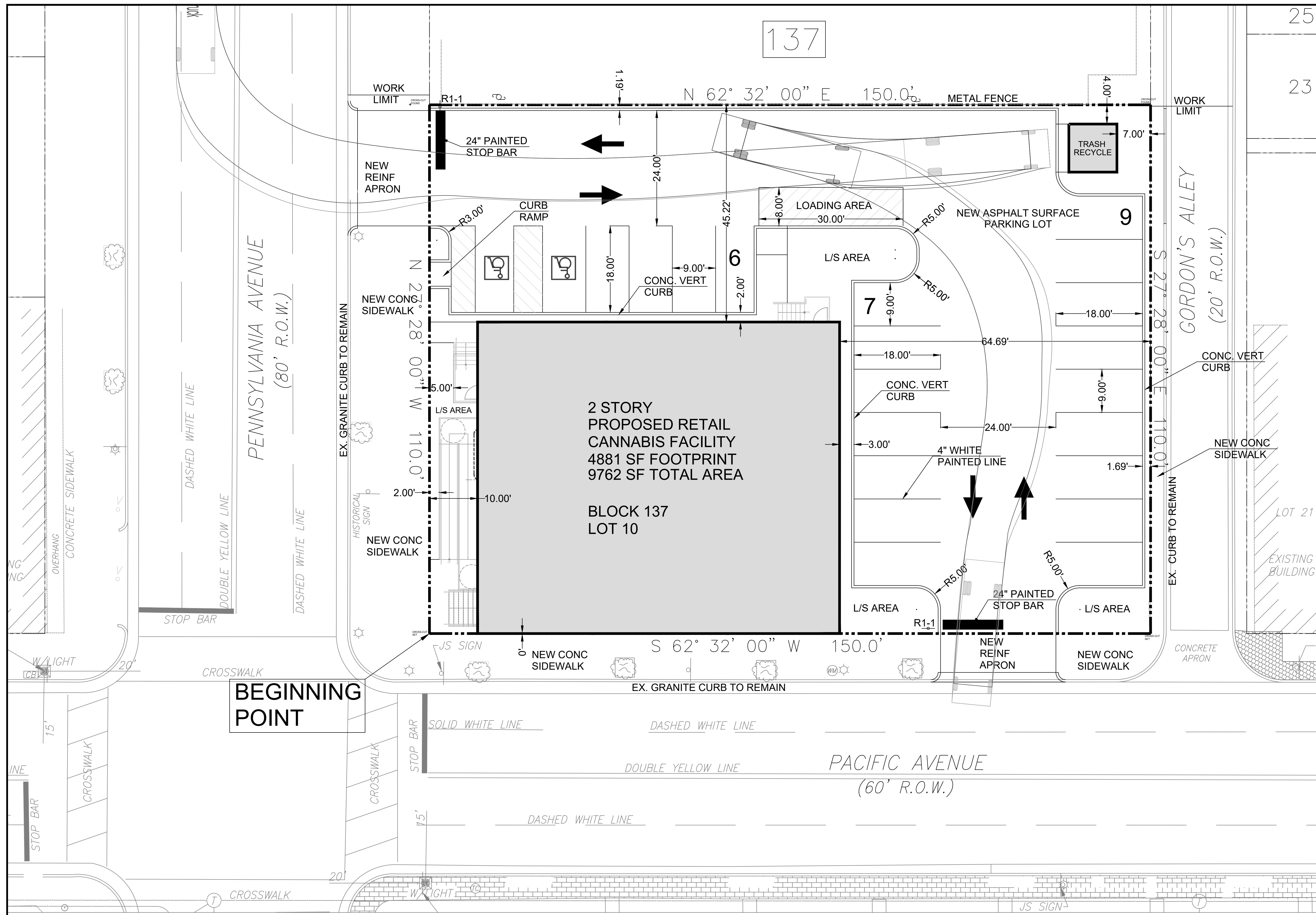
Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33LI00267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

PROPERTY SURVEY
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
 DATE: 1-25-24

BY: JJB
 PROJ. NO.: 41234

SHEET NO.
C-2
 SHEET 2 of 7



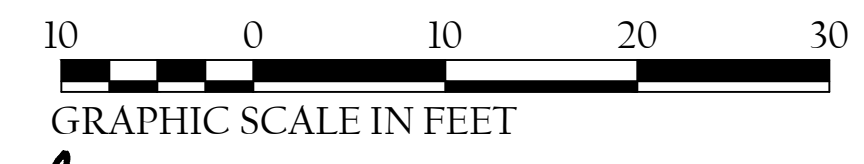
GENERAL NOTES

1. APPLICANT / OWNER:
SIX NINETEEN PROPERTY MANAGEMENT, LLC
C/O BRIDGET SYKES, ESQ
FOX ROTHSCHILD
1301 ATLANTIC AVENUE
ATLANTIC CITY, NJ 08401
2. PROPERTY INFORMATION:
BLOCK 137 LOT 10
3. AREA = SEE PLAN
ZONING = RC DISTRICT
EXISTING USE = CHURCH
PLAN HORIZONTAL DATUM - NAD83
PLAN VERTICAL DATUM - NAVD88
4. PROPOSED DEVELOPMENT
APPLICANT PROPOSES TO CONSTRUCT A NEW CANNABIS RETAIL DISPENSARY FACILITY ON THE SUBJECT SITE TOGETHER WITH ALL ASSOCIATED SITE IMPROVEMENTS.
5. NOTE REGARDING ADA COMPLIANCE:
ALL PROPOSED PEDESTRIAN SURFACES, INCLUDING SIDEWALKS, RAMPS, WALKWAYS, ETC SHALL BE ALL LOCAL, STATE, AND FEDERAL REGULATIONS OF ADA COMPLIANCE.

ZONING SCHEDULE (RC DISTRICT)

| ITEM | REQUIRED | EXISTING | PROPOSED | STATUS |
|--------------|----------------|-----------------|------------------|--------|
| LOT AREA | 7500 SF | 16500 SF | 16500 SF | C |
| LOT WIDTH | 50 FT | 110 FT | 110 FT | C |
| LOT DEPTH | 150 FT | 150 FT | 150 FT | C |
| LOT FRONTAGE | 50 FT | 150 FT / 110 FT | 150 FT / 110 FT | C |
| SETBACKS | | | | |
| FRONT YARD | 0 FT | 0FT/0FT/0FT | 0FT/10FT/64.69FT | C |
| SIDE YARD | 0 FT | N/A | N/A | C |
| REAR YARD | 20 FT | 24.79 FT | 45.22 FT | C |
| BLDG HEIGHT | 300 FT | < 300 FT | < 300 FT | C |
| COVERAGE | | | | |
| BLDG | 70% | 71% | 29.5% | C |
| IMPERVIOUS | 80% | 100% | 88% | V |
| PARKING | 1/300 SF | N/A | 22 | V |
| | (9762 SF = 33) | | | |

V = VARIANCE REQUIRED
ENC = EXISTING NON-CONFORMING
C = CONFORMING
N/A = NOT APPLICABLE



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BLOCK 137 LOT 10
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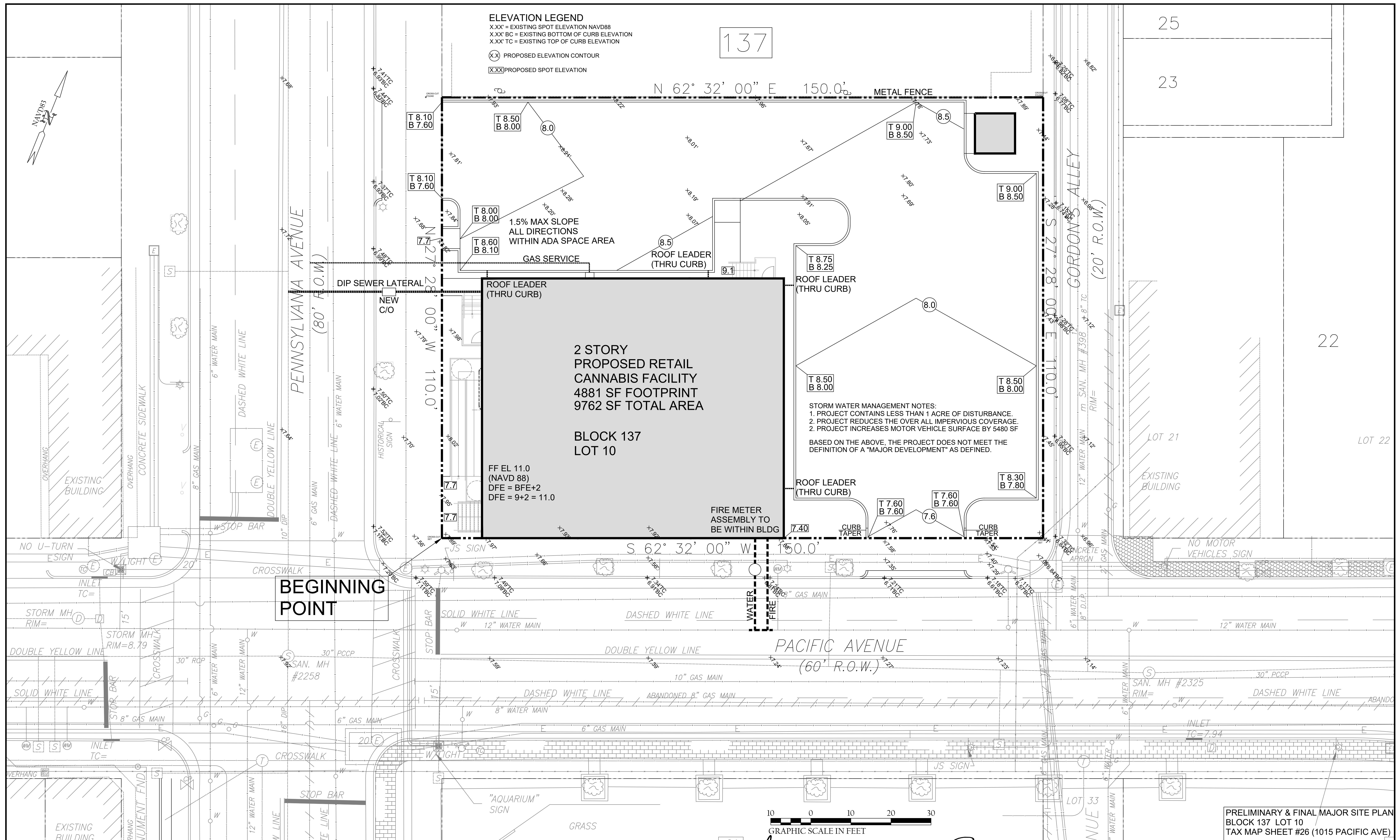
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SITE DEVELOPMENT PLAN
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
DATE: 1-25-24

BY: JJB
PROJ. NO.: 41234

SHEET NO.
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ELEVATION LEGEND
 X.XX' = EXISTING SPOT ELEVATION NAVD88
 X.XX' BC = EXISTING BOTTOM OF CURB ELEVATION
 X.XX' TC = EXISTING TOP OF CURB ELEVATION
 (X.XX) PROPOSED ELEVATION CONTOUR
 [X.XX] PROPOSED SPOT ELEVATION

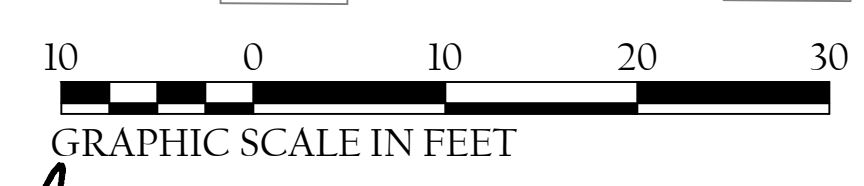
137

**2 STORY
 PROPOSED RETAIL
 CANNABIS FACILITY**
 4881 SF FOOTPRINT
 9762 SF TOTAL AREA
**BLOCK 137
 LOT 10**

STORM WATER MANAGEMENT NOTES:
 1. PROJECT CONTAINS LESS THAN 1 ACRE OF DISTURBANCE.
 2. PROJECT REDUCES THE OVER ALL IMPERVIOUS COVERAGE.
 3. PROJECT INCREASES MOTOR VEHICLE SURFACE BY 5480 SF
 BASED ON THE ABOVE, THE PROJECT DOES NOT MEET THE
 DEFINITION OF A "MAJOR DEVELOPMENT" AS DEFINED.

FF EL 11.0
 (NAVD 88)
 DFE = BFE+2
 DFE = 9+2 = 11.0

FIRE METER
 ASSEMBLY TO
 BE WITHIN BLDG



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GRADING, DRAINAGE & UTILITY PLAN
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 10'
 DATE: 1-25-24

BY: JJB
 PROJ. NO.: 41234

SHEET NO.
C-4
 SHEET 4 of 7



SOIL EROSION AND SEDIMENT CONTROL NOTES:

- "The soil erosion inspector may require additional soil erosion measures to be installed, as directed by the district inspector, in accordance with the "Standards for Soil Erosion and Sediment Control in New Jersey", 7th Edition, January 2014, Revised July 2017.
- All applicable erosion and sediment control practices shall be in place prior to any grading operation and/or installation of proposed structures or utilities.
 - Soil erosion and sediment control practices on this plan shall be constructed in accordance with the standards for soil erosion and sediment control in New Jersey.
 - Applicable erosion and sediment control practices shall be left in place until construction is completed and/or the area is stabilized.
 - Any disturbed area that is to be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and fertilization in accordance with the new jersey standards, and their rates should be included in the narrative. If the season prohibits temporary seeding, the disturbed areas will be mulched with salt hay or equivalent and anchored in accordance with the new jersey standards (i.e. peg and twine, mulch netting or liquid mulch binder).
 - It shall be the responsibility of the developer to provide confirmation of lime, fertilizer and seed application and rates of application at the request of the soil conservation district.
 - All critical areas subject to erosion will receive a temporary seeding in combination with straw mulch at a rate of 2 tons per acre, according to the New Jersey standards immediately following rough grading.
 - The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
 - All sedimentation structures will be inspected and maintained on a regular basis and after every storm event.
 - 16. NJSA 4:24-39, et seq. Requires that no certificate of occupancy be issued before all provisions of the certified soil erosion and sediment control plan have been complied with for permanent measures. All site work for the project must be completed prior to the district issuing a report of compliance as a prerequisite to the issuance of a certificate of occupancy by the municipality.
 - Mulching is required on all seeded areas to insure against erosion before grass is established to promote earlier vegetation cover.
 - Offsite sediment disturbance may require additional control measures to be determined by the erosion control inspector.
 - The soil conservation district shall be notified 48 hours prior to any land disturbance.
 - Any changes to the site plan will require the submission of a revised soil erosion and sediment control plan to the soil conservation district. The revised plan must be in accordance with the current New Jersey standards for soil erosion and sediment control.
 - Adjoining properties shall be protected from excavation and filling operations on the proposed site.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

STRUCTURAL MEASURES

- STABILIZED CONSTRUCTION ENTRANCE:** The Contractor shall construct a temporary stone apron at the designated entrance to the site to limit mud tracking onto area roadways. It shall consist of ASTM C-39, 3/4" x 2 1/2" crushed stone surface 3' wide x 10' long x 8" deep.
 - The Hay Bale Dam shall be constructed with the following procedure:
 - Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - Bales shall be embedded in the soil a minimum of 4".
 - Bales shall be securely anchored in place by stakes, steel pickets, or rebar driven through the bales. The first stake in each bale shall be angled toward the property to be protected.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - The sediment collected along the hay bales shall be periodically gathered and placed on the site.
 - Bales shall be removed when they have served their usefulness so as not to block or impeded storm flow or drainage.
- HAY BALE DAM:** The Contractor shall construct a Hay Bale Dam around all stockpile areas.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - The sediment collected along the hay bales shall be periodically gathered and placed on the site.
 - Bales shall be removed when they have served their usefulness so as not to block or impeded storm flow or drainage.
- SILT FENCE:** A silt fence shall be constructed at locations shown on the Engineering Plan. Installation shall be as follows:
 - Install fence posts 8' c.c. on a slight angle toward the anticipated runoff source.
 - Dig 4" trench along the spiral side of the fence line.
 - Lay out all fence fabric along post line.
 - Wrap fabric around the post and be secured with cord.
 - Take fabric to the next post and make a 1" slit in the hem directly above the cord.
 - Repeat above step until last post is reached, wrap fabric around the post and secure with the cord.
 - Crease the lower 4" of fabric in the trench, curled up hill.
 - Back fill trench.
- LOW POINT INLET SEDIMENT FILTER:** The Contractor shall construct low point inlet sediment filter at those locations on the Engineering Plan to prevent erosion of sediment into the stormwater management system and surface water bodies. The Inlet Sediment Filter shall consist of:
 - Hardbase cloth or comparable mesh with 1/2" openings shall be placed over the curb inlet opening so that at least 12" of wire extends across the concrete gutter from the inlet opening.
 - Stone shall be piled against the wire so as to anchor it against the gutter and inlet curb and to cover the inlet opening completely. Two to three inches of coarse aggregate shall be used.
 - If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, the stone must be pulled away from the inlet, cleaned and replaced.

NON-STRUCTURAL MEASURES

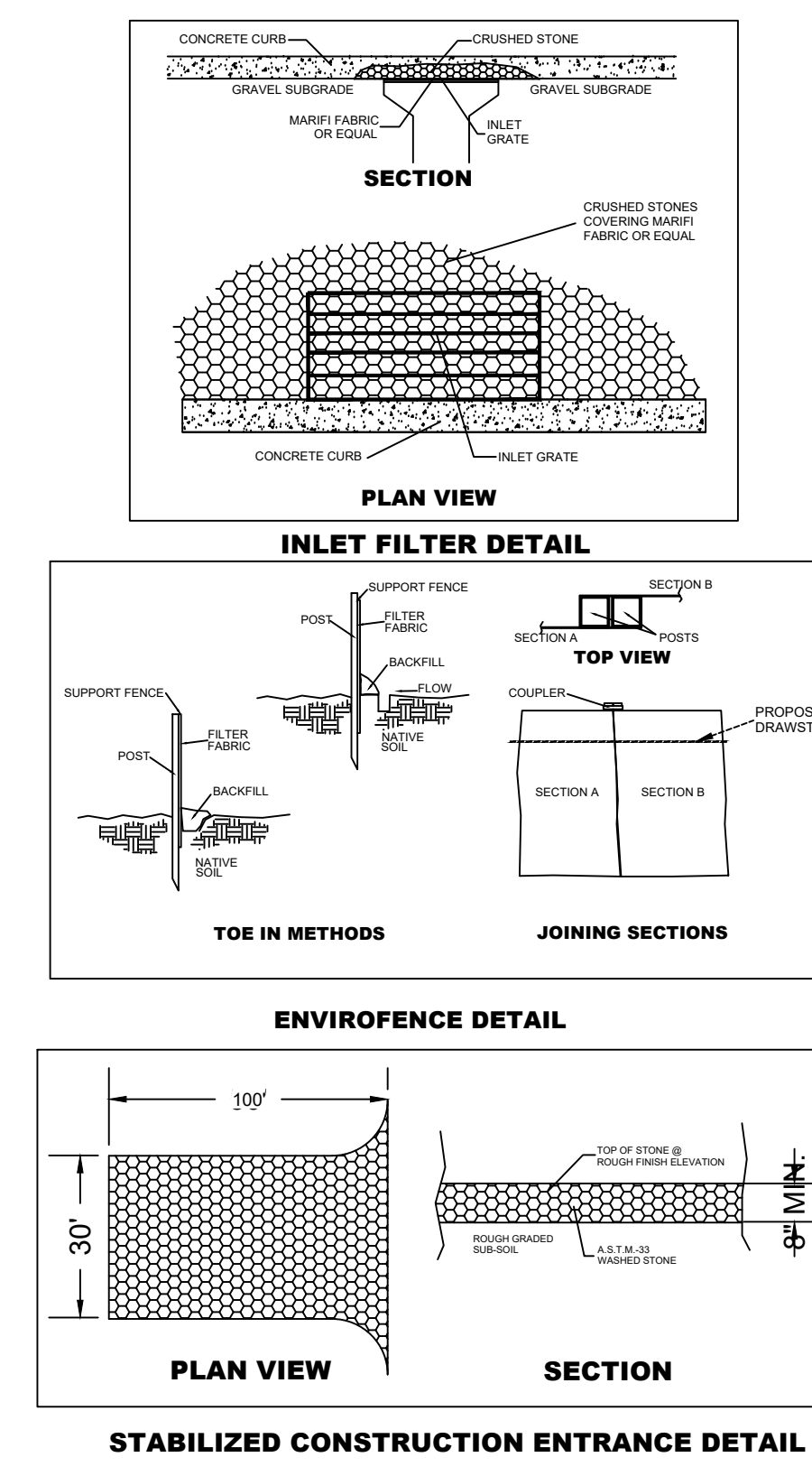
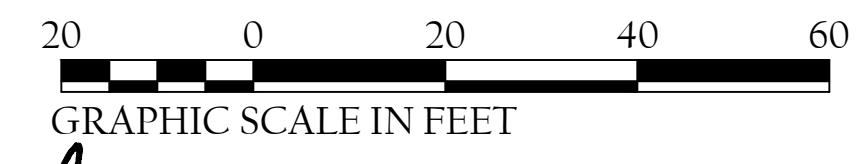
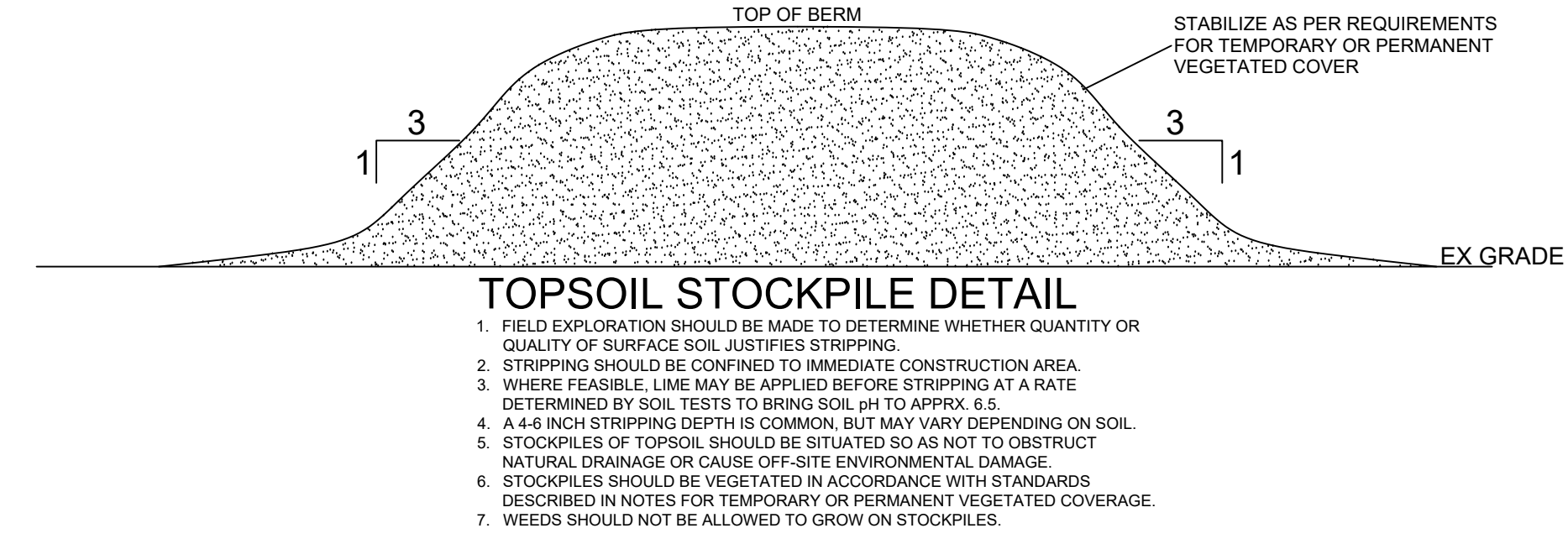
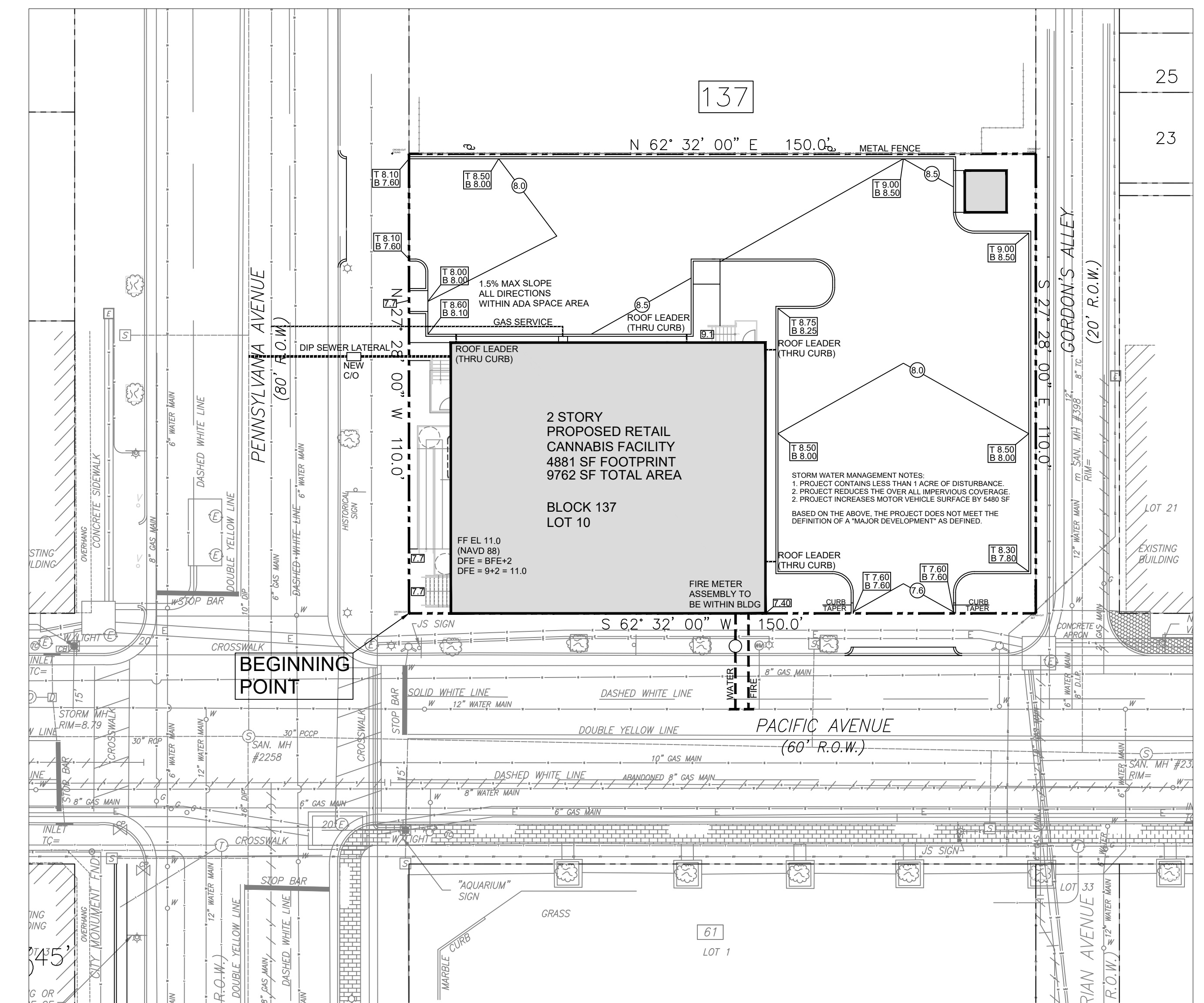
- PERMANENT VEGETATION:** Immediately following the completion of construction activities at the site, the Contractor shall stabilize permanently vegetative cover at exposed and disturbed soils. Permanent vegetative cover shall be accomplished as specified below:
 - Topsoiling-The Contractor shall prepare areas to be stabilized with permanent vegetative cover by applying topsoil to a uniform depth of 4". Topsoil shall be stable and loamy of good quality.
 - Seeded Preparation-Immediately following topsoiling the Contractor shall apply balanced fertilizer (maximum at the rate of 50 pounds per 1000 square feet and fertilizer (10-20-10) at the rate of 14 pounds per 1000 square feet. The lime and fertilizer shall be worked into the soil by a rotary tillage implement, disc harrow, or other suitable equipment.
 - Seeding-Seed shall consist of 1 1/2 percent prairiegrass, 23 1/2 percent red fescue, 23 1/2 percent bluegrass, applied at the rate of 3 pounds per 1000 square feet.
 - Apply mulch uniformly by hand or mechanically. Mulch application shall be accomplished immediately after placement through use of Peg and Twine method (or other approved method).
 - Seeding Dates: 2/15-5/1 or 8/15-10/15. If seed is not planted within these dates, the Contractor shall stabilize with mulch.
- TEMPORARY VEGETATIVE COVER**
 - Prior to having construction for periods longer than 90 days and during the off-season, the Contractor shall stabilize with temporary vegetative cover at exposed soils.
 - Temporary stabilization shall be accomplished by the following methods and Materials: Type Rate Time (paved/soils 90 to 10000sf) Fertilizer 10-20-10 14 lbs./1000sf seed annual prairiegrass 3 lbs./1000sf straw or hay 75 lbs./1000sf

CONSTRUCTION SCHEDULE

- Clearing and grubbing.
- Install underground utilities and exchange basin. Establish permanent cover.
- Rough grading.
- Construction of building.
- Final grading.
- Construct parking area and roadway.
- Collect silt and sediment and place back on site.
- Permanent stabilization of site.
- Landscape treatment.

MISCELLANEOUS:

- A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE, FINAL AND CONDITIONAL, TEMPORARY CERTIFICATE.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.



MISCELLANEOUS:

- A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE, FINAL AND CONDITIONAL, TEMPORARY CERTIFICATE.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
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ELEVATION LEGEND
 X'XX" = EXISTING SPOT ELEVATION NAVD83
 X'XX" B = EXISTING BOTTOM OF CURB ELEVATION
 X'XX" T = EXISTING TOP OF CURB ELEVATION

PRELIMINARY & FINAL MAJOR SITE PLAN
BLOCK 137 LOT 10
TAX MAP SHEET #26 (1015 PACIFIC AVE)

ARTHUR PONZIO & ASSOCIATES, INC. ENGINEERS & SURVEYORS
 400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
 PHONE: 609-344-8194 FAX: 609-344-1594
 NEW JERSEY STATE AUTH. NO.: 24GA28001300

| NO. | DATE | BY | DESCRIPTION |
|-----|--------|-----|----------------------|
| 1 | 4-8-24 | JJB | REV PER COMPLETENESS |

ARTHUR PONZIO CO.
 ENGINEERS & SURVEYORS
 PLANNERS

JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33L100581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33L100267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

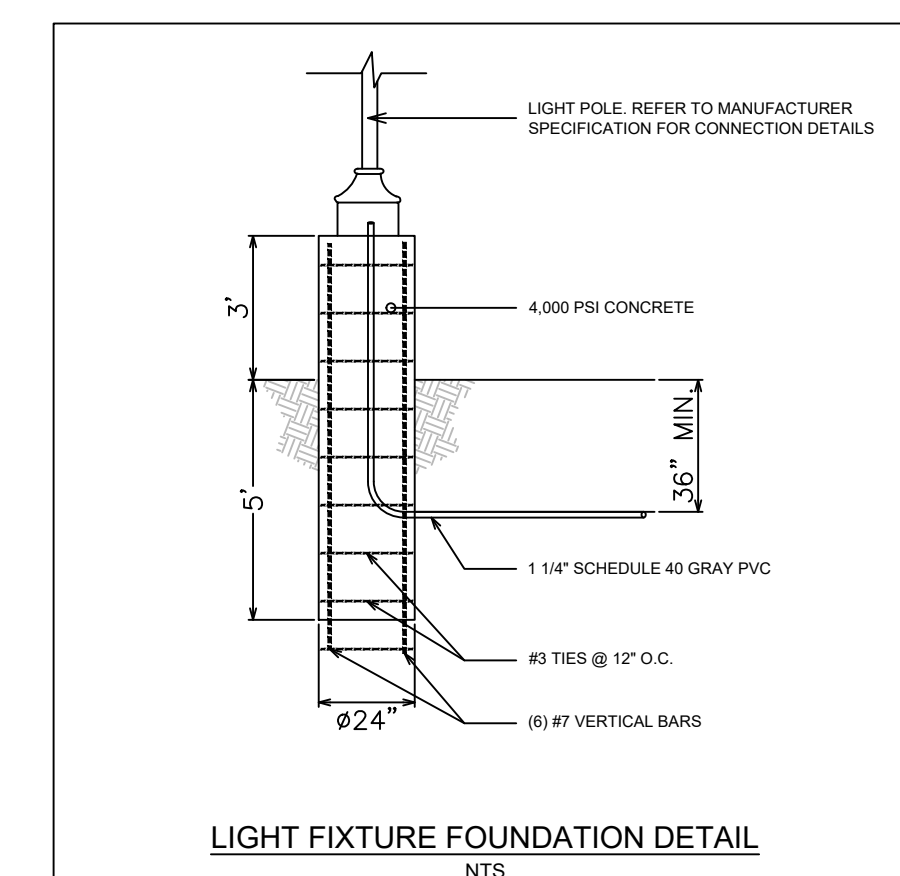
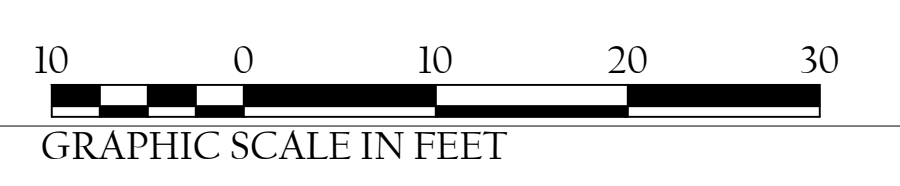
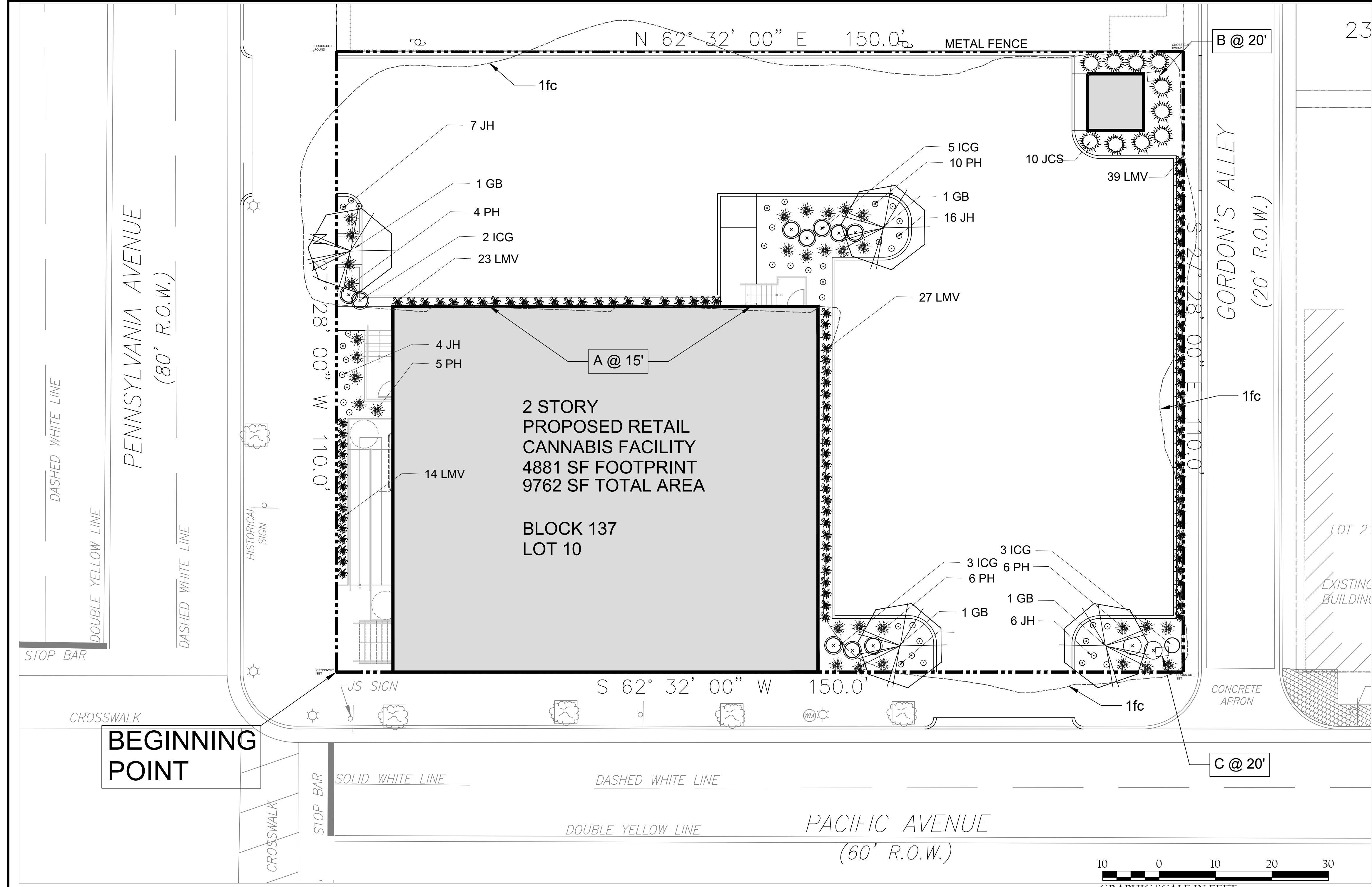
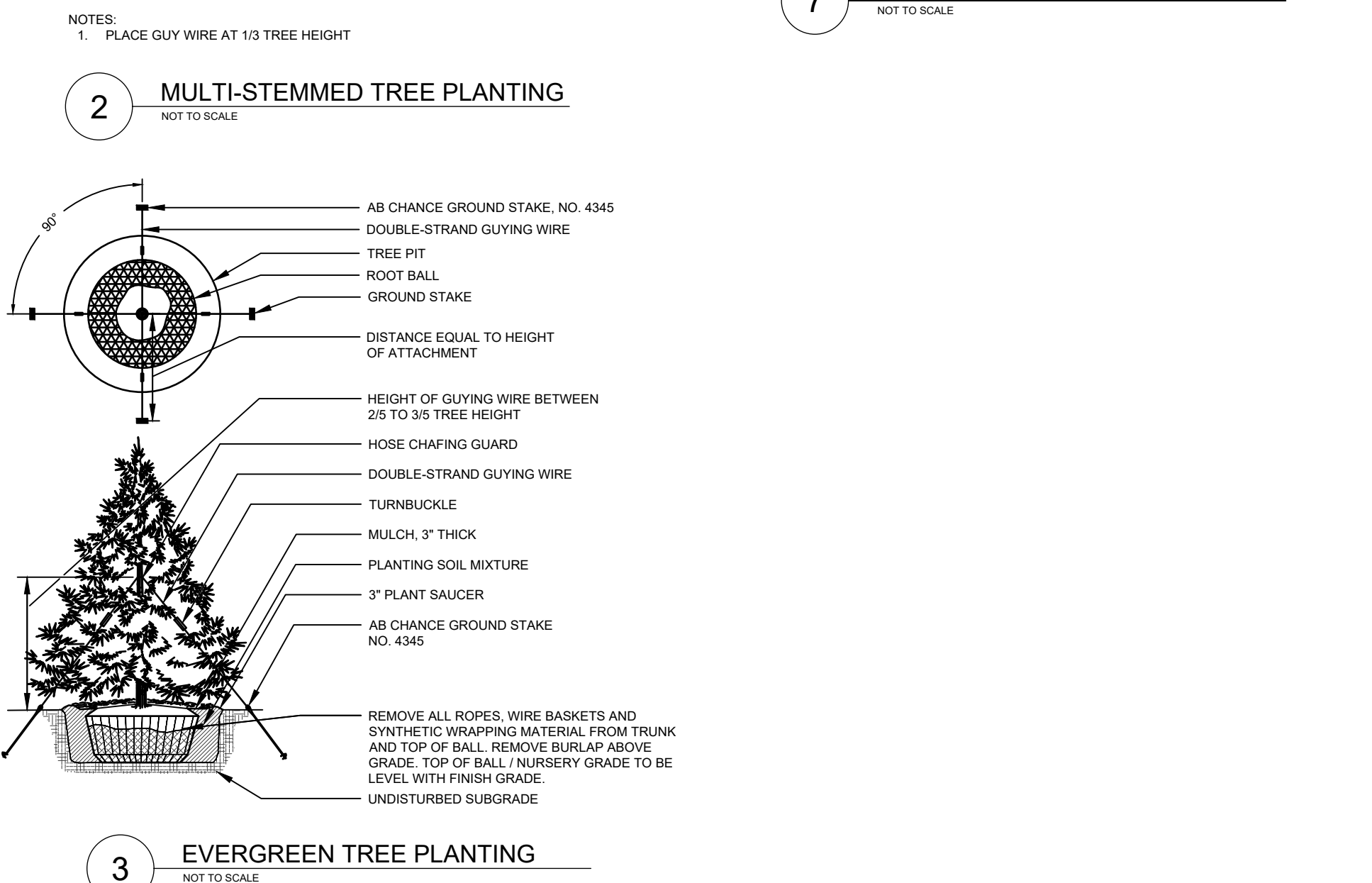
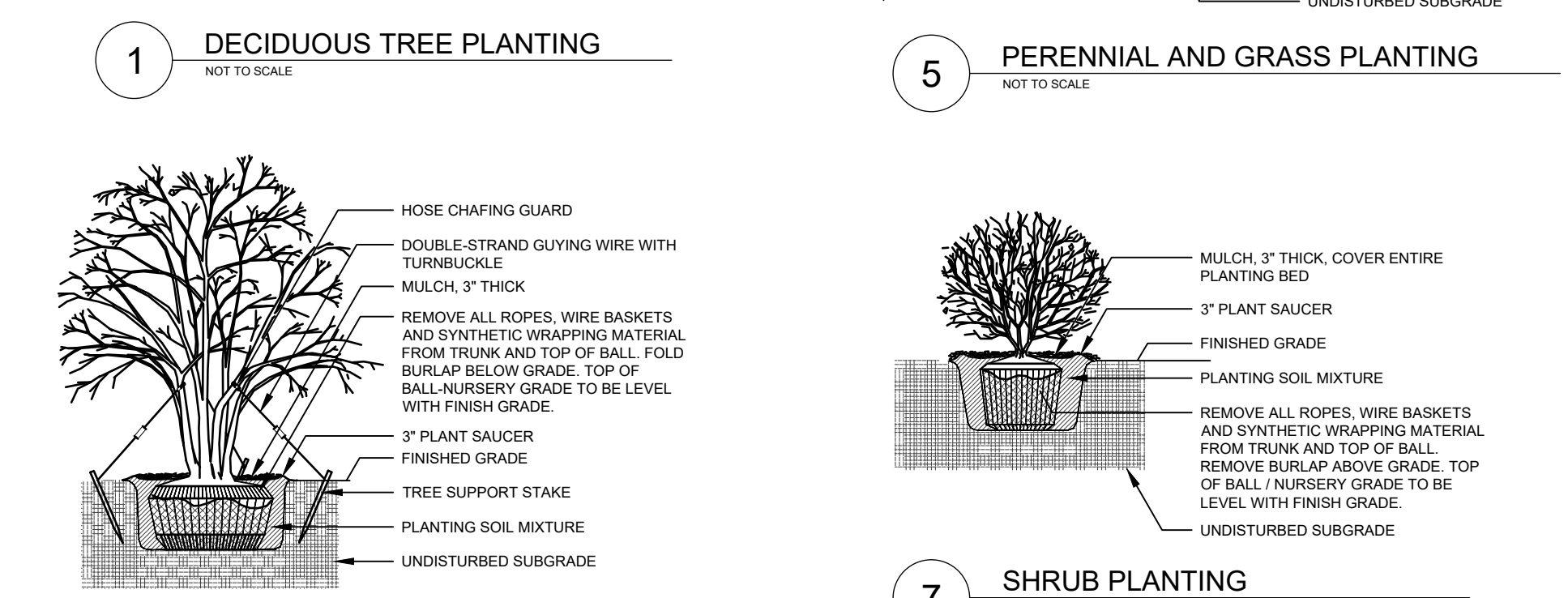
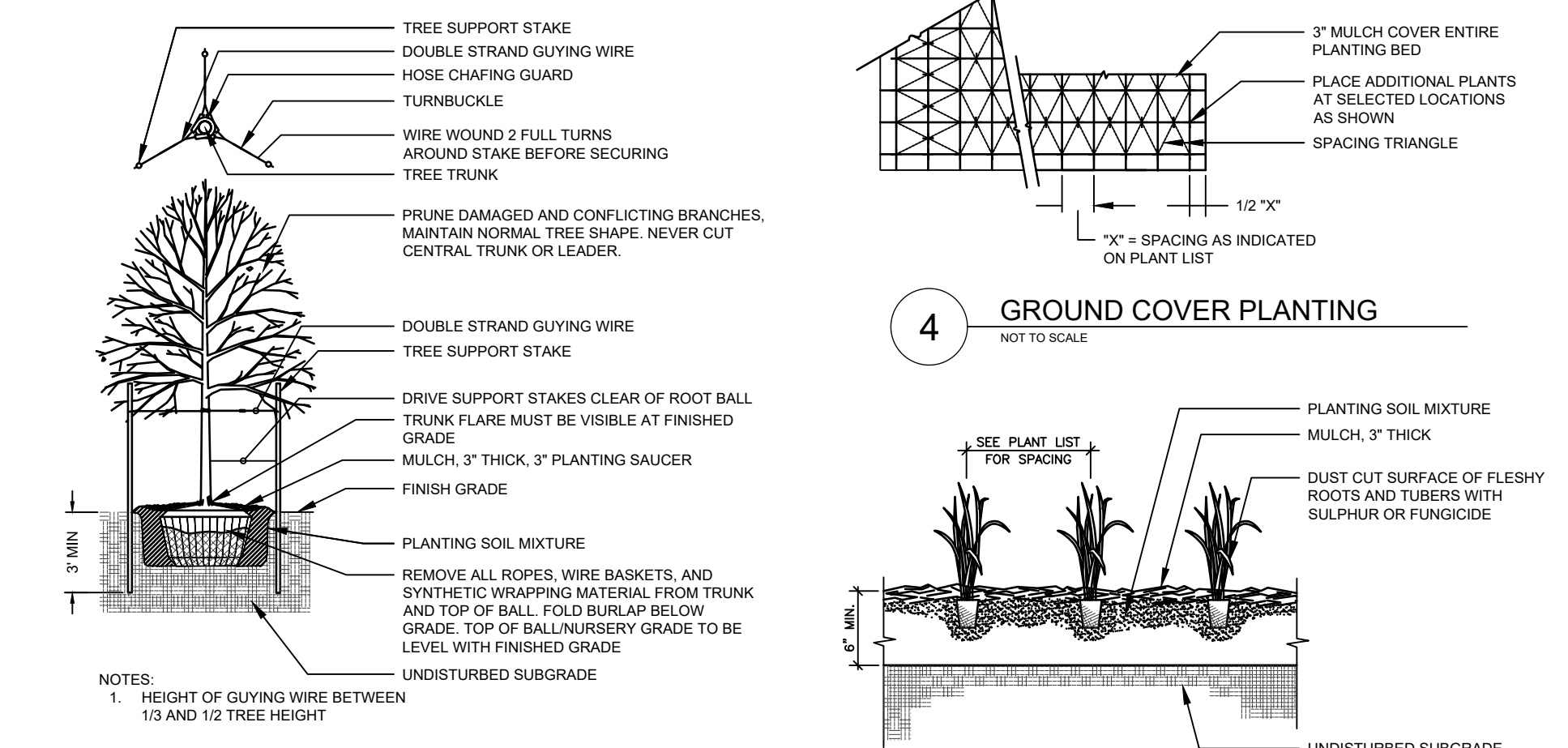
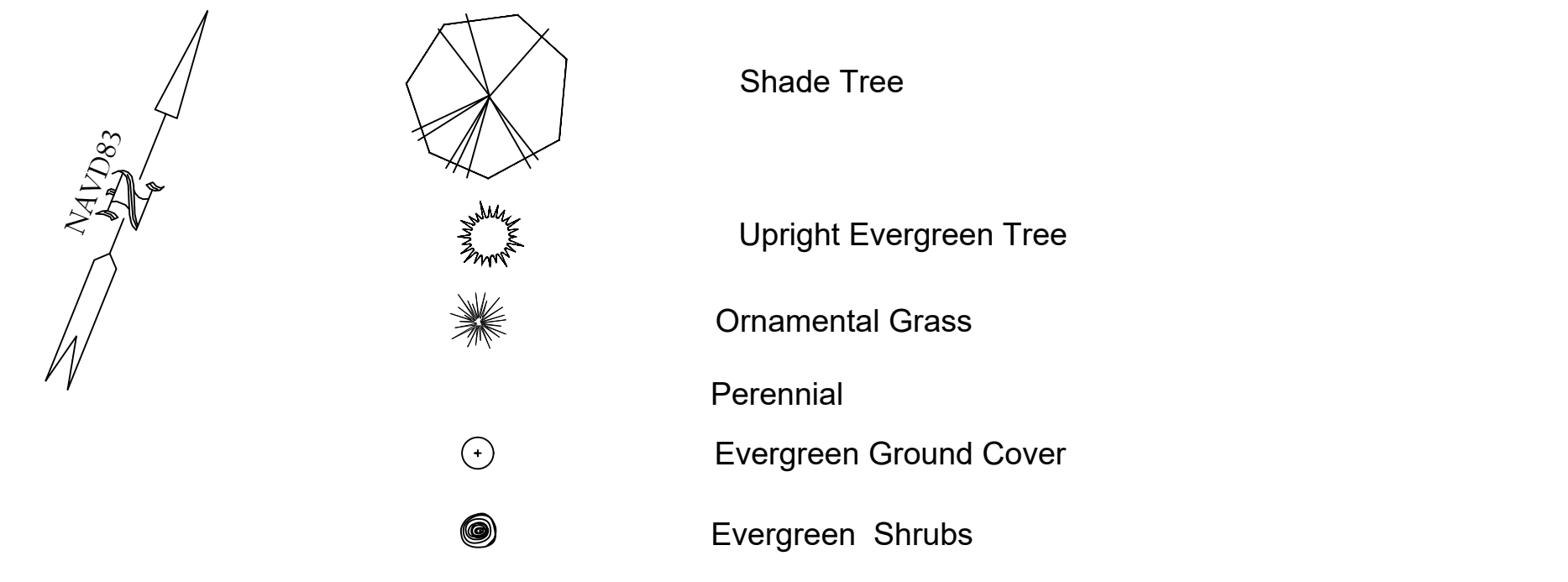
SOIL EROSION & SEDIMENT CONTROL PLAN
 BLOCK 137 LOT 10
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: 1" = 20'
 DATE: 1-25-24

BY: JJB
 PROJ. NO.: 41234

SHEET NO. **C-5**
 SHEET 5 of 7

LANDSCAPE LEGEND:



| Plant Schedule | | | | | | |
|----------------|---|-----------------------------------|----------|-------|-----|----------|
| ABR | Botanical Name | Common Name | Size | Root | QTY | Comments |
| JCS | Juniperus Chinensis 'Spartan' | Spartan Juniper | 6'-8'-0" | B&B | 10 | |
| GB | Ginkgo Biloba | Ginkgo | 2 Cal. | B & B | 4 | |
| JH | Juniperus Horizontalis Wiltoni | Bar Harbor Juniper | 2 Gal. | Cont. | 39 | |
| IC | Ilex crenata 'Soft Touch' | Soft Touch Holly | 3 Gal. | Cont. | 13 | |
| LMV | Liriope muscari 'Big Blue' | Big Blue Lilly Turf | 1 Gal. | Cont. | 103 | |
| PH | Pennisetum alopecuroides 'Little Bunny' | Little Bunny Dwarf Fountain Grass | 1 Gal. | Cont. | 33 | |

| Luminaire Schedule | | | | | | | | |
|--------------------|-------|---------|-----|-------------------|-----------------------------------|--|--------------|-------------|
| Symbol | Label | Image | QTY | Manufacturer | Catalog | Description | Number Lamps | Lamp Output |
| [Symbol] | A | [Image] | 2 | Lithonia Lighting | DSXW2 LED 30C 1000 50K TFTM MVOLT | DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 1000mA DRIVER, 5000K LED, TYPE FORWARD THROW MEDIUM OPTIC | 1 | 11190 |
| [Symbol] | B | [Image] | 1 | Lithonia Lighting | DSX0 LED P7 50K 80CRI LCDD | D-Series Size 0 Area Luminaire P7 Performance Package 5000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control | 1 | 13750 |
| [Symbol] | C | [Image] | 1 | Lithonia Lighting | DSX0 LED P7 50K 80CRI RCDD | D-Series Size 0 Area Luminaire P7 Performance Package 5000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control | 1 | 13750 |

ARTHUR PONZIO CO. DESIGN/CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTOR'S COMPLIANCE WITH CONSTRUCTION DOCUMENTS

| NO. | DATE | BY | DESCRIPTION |
|-----|--------|-----|----------------------|
| 1 | 4-8-24 | JJB | REV PER COMPLETENESS |

ARCO ARTHUR PONZIO CO. ENGINEERS & SURVEYORS PLANNERS
400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

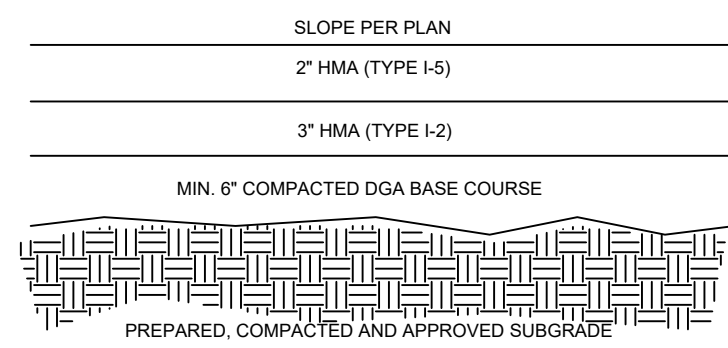
JON J. BARNHART
PROFESSIONAL PLANNER N.J. NO. 33L100581500
PROFESSIONAL ENGINEER N.J. NO. GE43483

ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33L100267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

LANDSCAPE & LIGHTING PLAN
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY
SCALE: 1" = 10'
DATE: 1-25-24
BY: JJB
PROJ. NO.: 41234

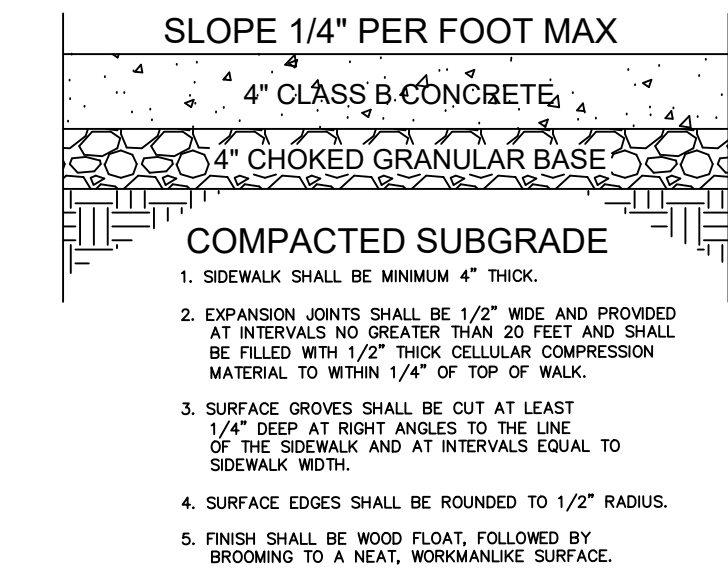
SHEET NO. **C-6**
SHEET 6 of 7

PRELIMINARY & FINAL MAJOR SITE PLAN
BLOCK 137 LOT 10
TAX MAP SHEET #26 (1015 PACIFIC AVE)

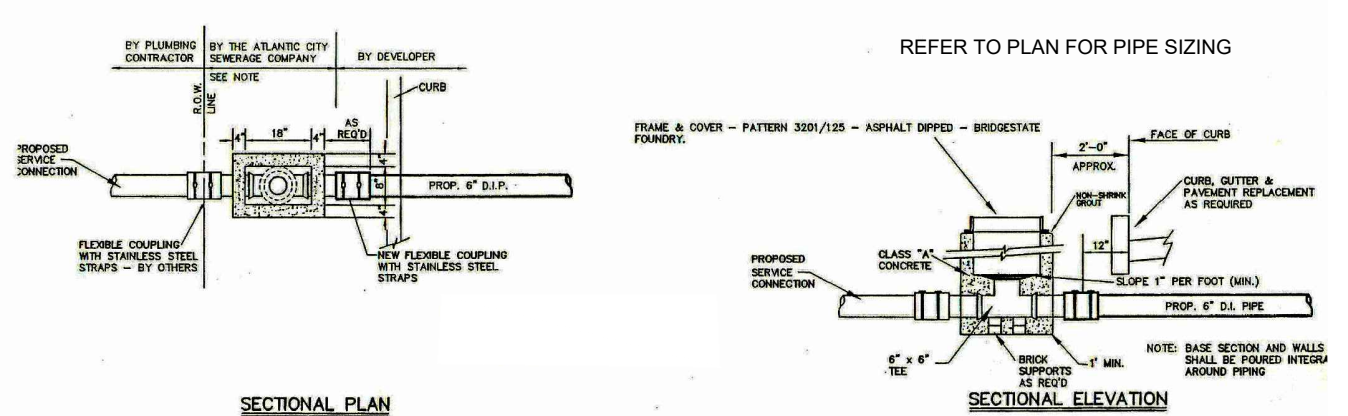


1 ON-SITE ASPHALT PAVEMENT

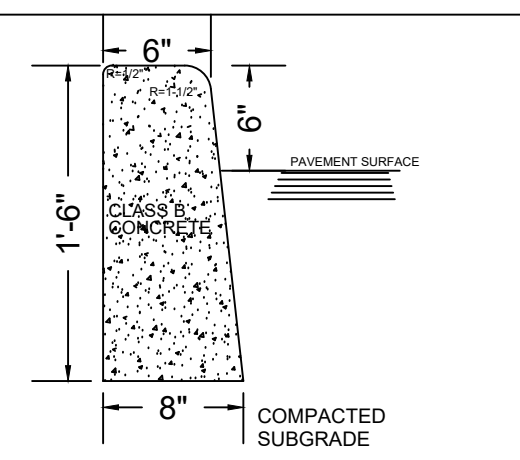
ALL CONCRETE UTILIZED FOR INSTALLATION OF SIDEWALK SHALL BE CLASS B, MINIMUM DESIGN STRENGTH OF 4000 PSI AT 28 DAYS, AIR ENTRAINED



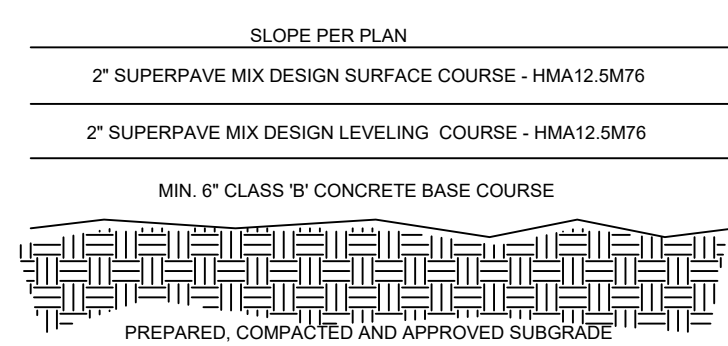
2 SIDEWALK DETAIL



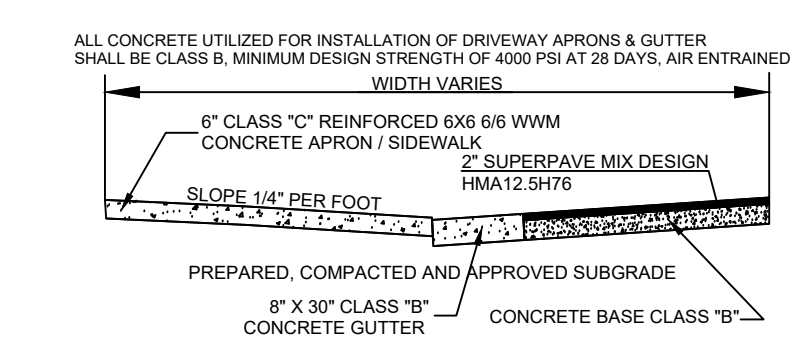
3 SANITARY SERVICE BOX DETAIL



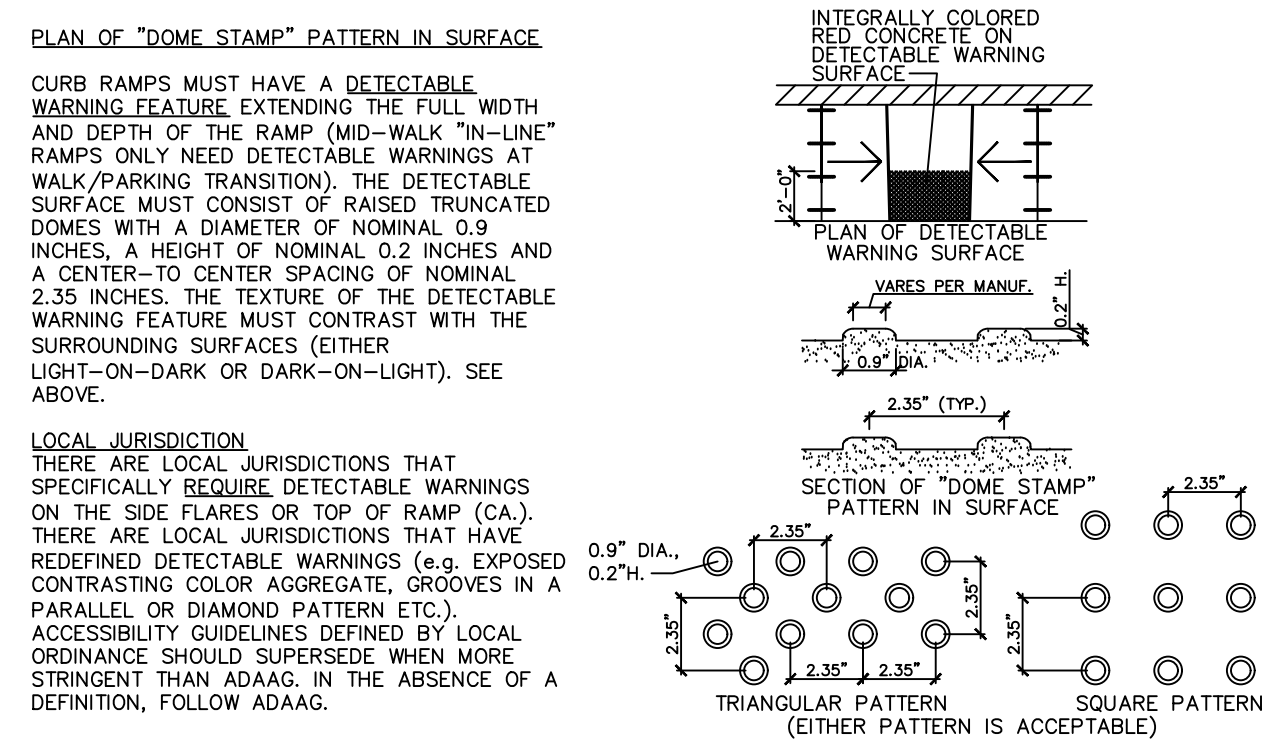
4 CONCRETE CURB DETAIL (ON-SITE)



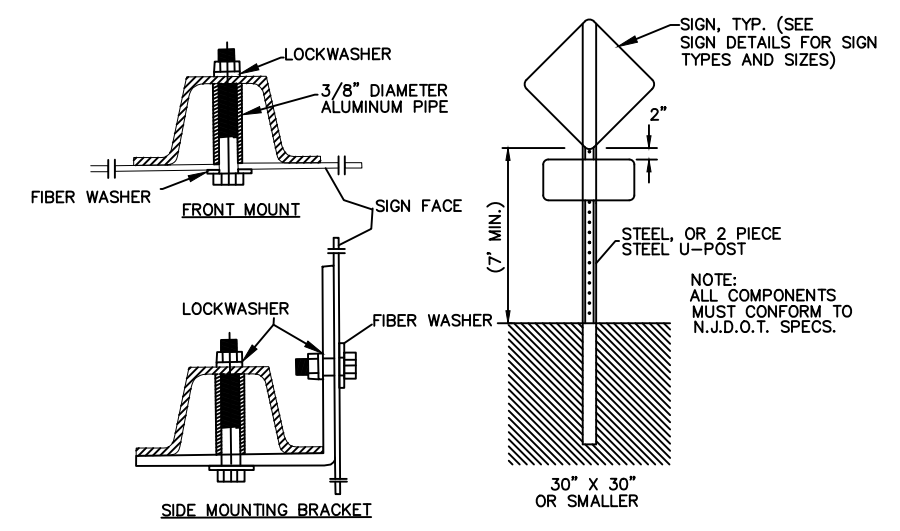
5 ASPHALT PAVING DETAIL (CITY R.O.W.)



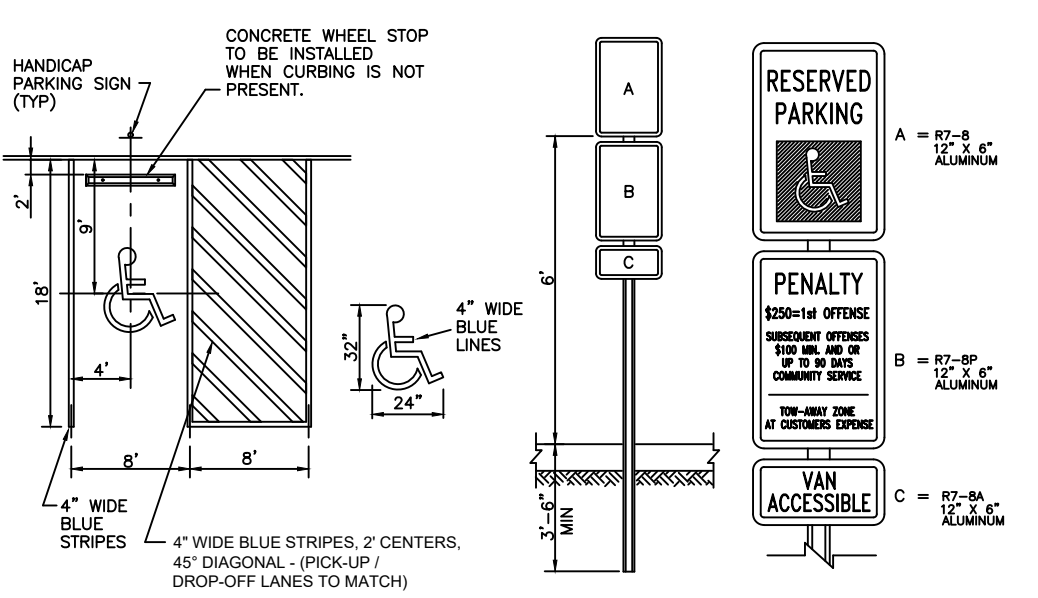
6 SECTION THROUGH ROADWAY (INCLUDING CONCRETE GUTTER)



7 ACC. RAMP WARNING STRIP DETAILS



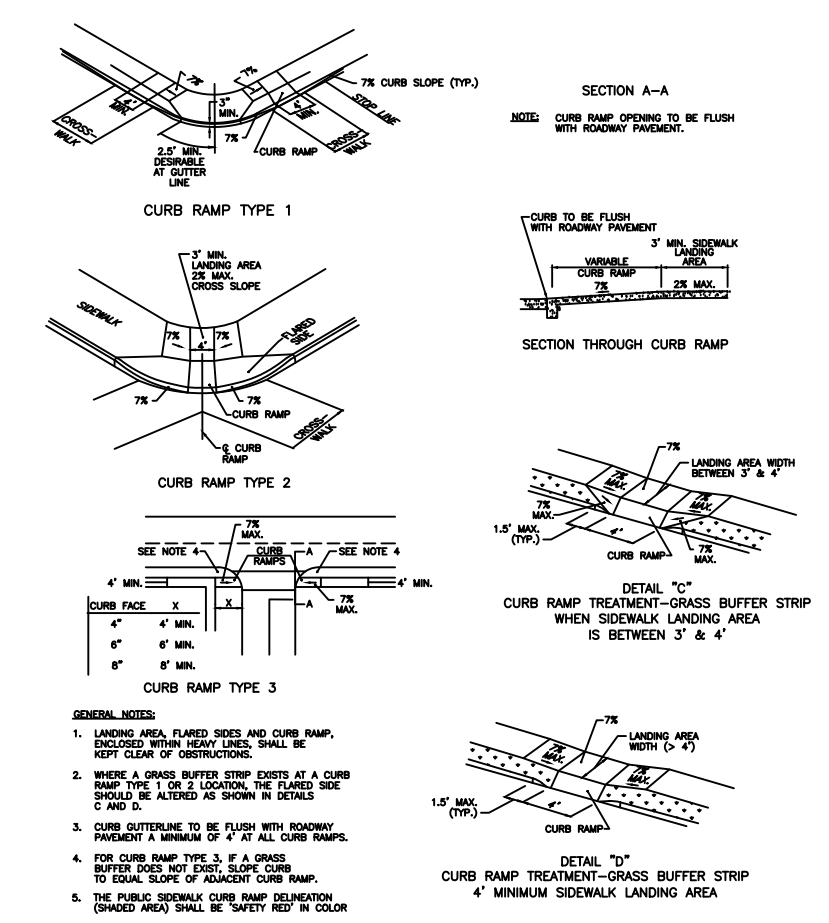
8 SIGN MOUNTING DETAILS



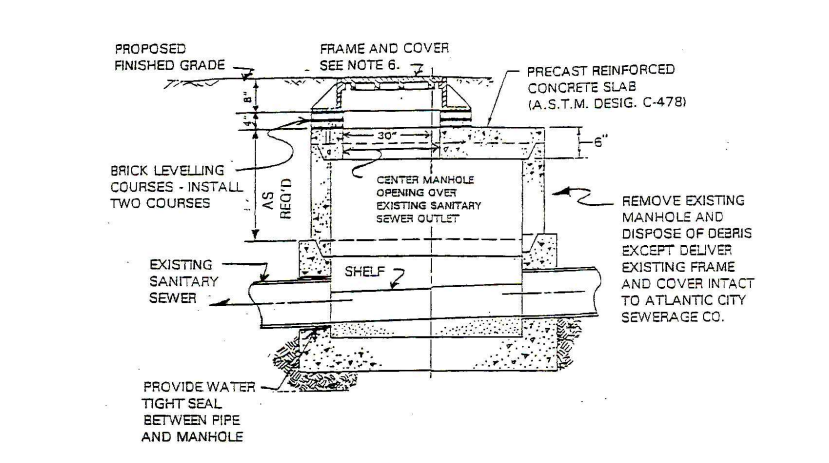
8 HANDICAPPED PARKING DETAIL



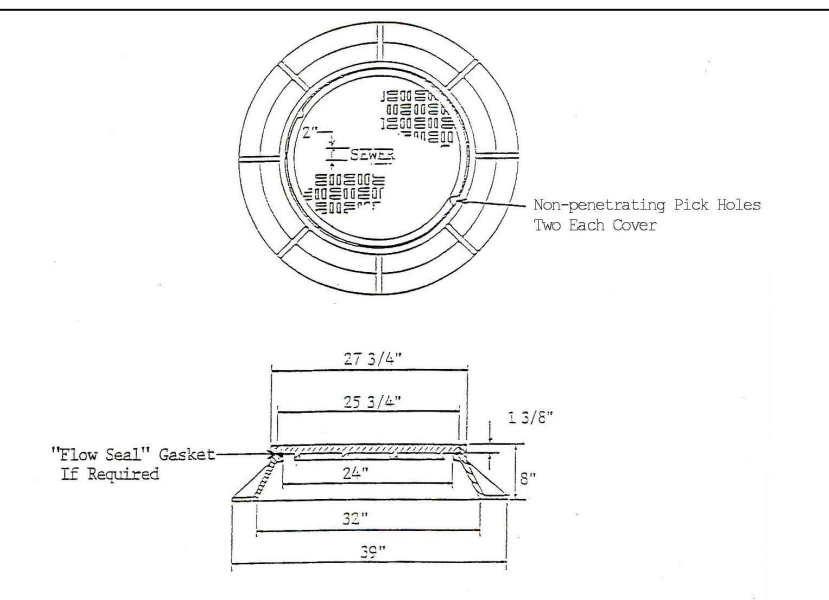
9 TRAFFIC SIGNS (IF REQUIRED)



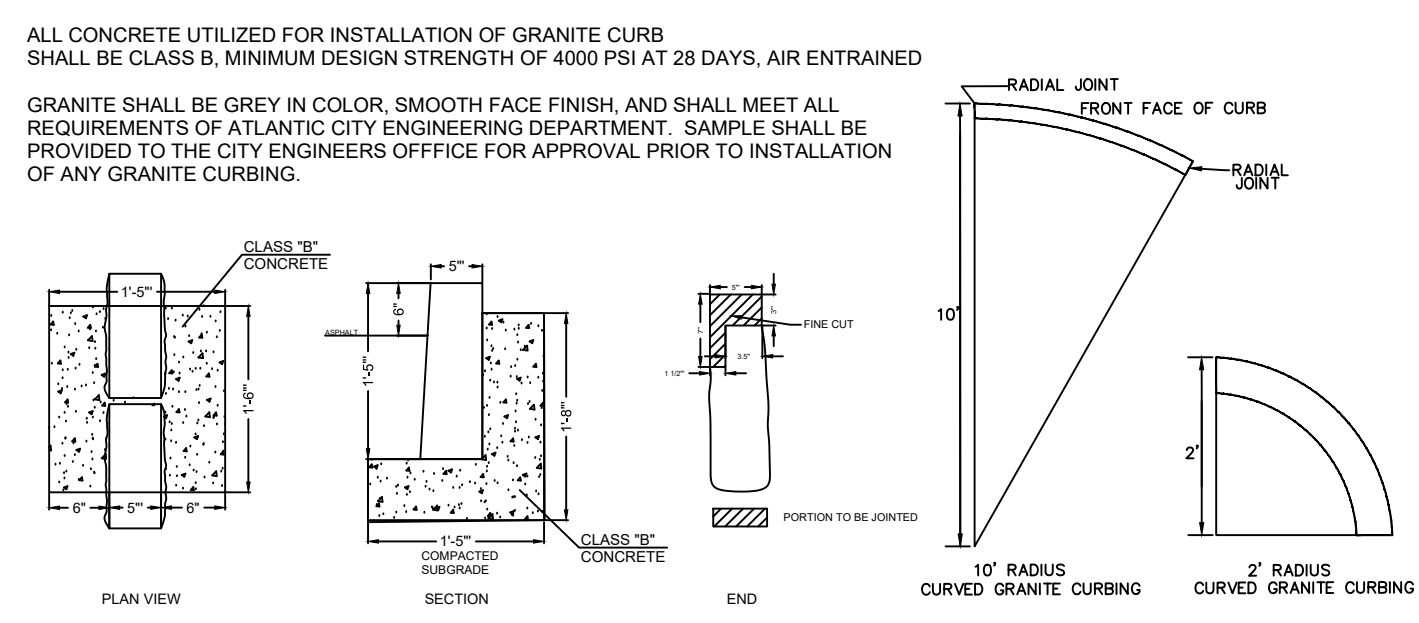
10 ADA CURB RAMP DETAILS



11 REPLACEMENT SANITARY MANHOLE DETAIL (IF REQUIRED BY ASCCO DUE TO FIELD CONDITIONS)



12 SANITARY MANHOLE COVER DETAIL



13 GRANITE CURBING (ATLANTIC CITY SPECIFICATIONS - CITY R-O-W)

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ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND SAFETY REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PROFESSIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE HIGHWAY SAFETY PROMOTIVE ACT, STATE OF NEW JERSEY, ADOPTED 7/21/88 AS P.L. 2048, § 349, THE NEW JERSEY UNIFORM CONSTRUCTION CODE, I.C.C. ASCEM SPECIFICATIONS, ALL LOCAL ORDINANCES AND PERMIT CONDITIONS.

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| NO. | DATE | BY | DESCRIPTION |
|-----------|--------|-----|----------------------|
| 1 | 4-8-24 | JJB | REV PER COMPLETENESS |
| REVISIONS | | | |

ARCO ARTHUR PONZIO CO.
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SITE DETAILS
BLOCK 137 LOT 10
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE
DATE: 1-25-24

BY: JJB
PROJ. NO.: 41234

SHEET NO.
C-7
SHEET 7 of 7

PRELIMINARY & FINAL MAJOR SITE PLAN
BLOCK 137 LOT 10
TAX MAP SHEET #26 (1015 PACIFIC AVE)