

BUILDING CODE NOTES

THIS PROJECT CONFORMS TO THE FOLLOWING CODES:

- REHAB SUBCODE, SUBCHAPTER 6 OF THE UCC
- 2021 INTERNATIONAL BUILDING CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2021 NATIONAL STANDARD PLUMBING CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- BARRIER FREE SUBCODE ANSI A117.1-2017

TYPE OF WORK  
ALTERATION

DESCRIPTION  
INTERIOR ALTERATION, FIRST FLOOR

OCCUPANCY CLASSIFICATION  
GROUP M (MERCHANT)

REQUIRED SEPARATION OF OCCUPANCIES IS EXISTING ALL THE WORK IS ON THE INTERIOR OF THE LEASED PREMISE

TYPE OF CONSTRUCTION  
TYPE 5-B, UNPROTECTED BUILDING IS NOT SPRINKLERED

MEANS OF EGRESS  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (SECTION 1004.8)  
GROUP M 60SF/OCCUPANT 538 SF/60= 8 TOTAL

MINIMUM REQUIRED DOOR WIDTH  
32INCHES (36 PROVIDED)

COMMON PATH OF EGRESS TRAVEL  
100 FEET MAX REQUIRED (DESIGN COMPLIES)

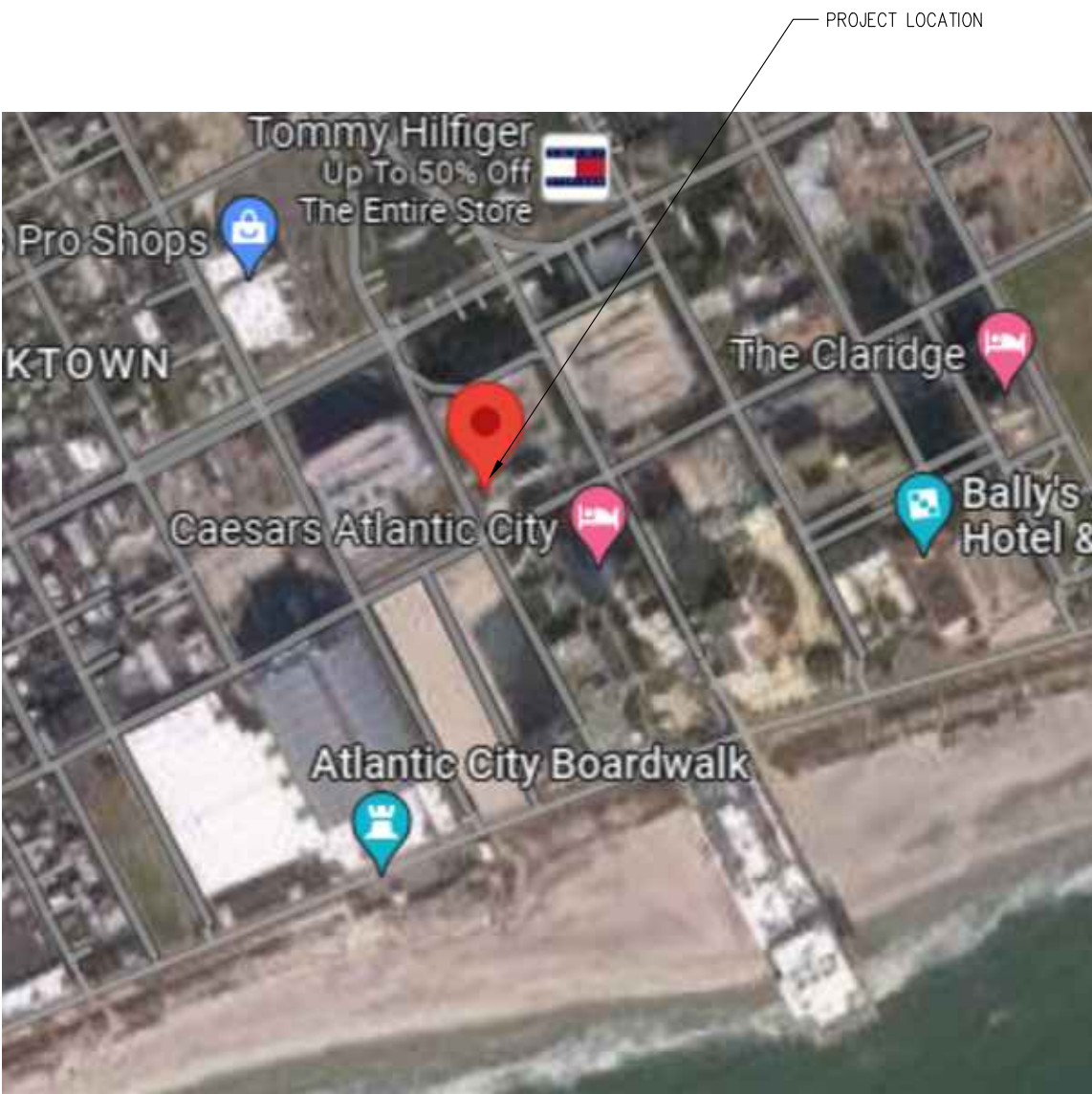
EXIT ACCESS TRAVEL DISTANCE  
300 FEET MAX REQUIRED (DESIGN COMPLIES)

CAPACITY PER UNIT EGRESS WIDTH  
DOORS, RAMPS AND CORRIDORS  
.2/OCCUPANT 8X.2=1.6IN (36 IN PROVIDED)

GENERAL REQUIREMENTS:

- 01000 GENERAL  
COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION OF BUILDING OPERATIONS. PROTECTION FROM DAMAGE EXISTING CONSTRUCTION AND FACILITIES THAT ARE TO REMAIN IN PLACE AND BECOME EXPOSED DURING CONSTRUCTION OPERATIONS.
- CUT WORK IN A MANNER THAT WILL MINIMIZE DAMAGE TO ADJACENT WORK TO REMAIN.
- RETURN ALL STRUCTURES AND SURFACES TO REMAIN & ARE DISTURBED BY CONSTRUCTION OPERATIONS TO CONDITION PRIOR TO COMMENCEMENT OF WORK.
- RESTORE EXPOSED FINISHES OF PATCHED AREAS TO EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE EVIDENCE OF CUTTING & PATCHING.
- REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS FROM BUILDING SITE DAILY.
- TRANSPORT & LEGALLY DISPOSE OFF ALL WASTE MATERIAL OFF SITE.
- BROOM CLEAN ALL AREAS WITHIN CONTRACT LIMITS AS NECESSARY TO KEEP SITE CLEAN.
- KEEP MEANS OF EGRESS FREE FROM OBSTRUCTIONS AT ALL TIMES.
- SCHEDULING OF ALL SHUTDOWNS & OTHER INTERRUPTIONS OF EXISTING UTILITIES AND BUILDING SYSTEMS SHALL HAVE THE APPROVAL OF THE LANDLORD AND AUTHORITIES HAVING JURISDICTION.
- PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND FAMILIARIZE HIMSELF WITH THE SITE AND OTHER CONDITIONS THAT MAY AFFECT THE WORK. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS & OTHER CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION PRIOR TO EXECUTION OF WORK.
- 01600 MATERIALS  
USE BUILDING STANDARD PRODUCTS AND MATERIALS EXCEPT AS OTHERWISE NOTED OR REQUIRED.
- PROVIDE PRODUCTS COMPLETE WITH ALL ACCESSORIES, TRIMS, FINISH AND OTHER DEVICES & DETAILS NEEDED FOR COMPLETE INSTALLATION & FOR INTENDED USE AND EFFECT.
- COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF MATERIALS & EXECUTION OF THE WORK EXCEPT WHERE EXCEEDED BY REQUIREMENTS INDICATED ON THE CONTRACT DOCUMENTS.
- WHERE PRODUCTS MANUFACTURERS ARE NOT BUILDING STANDARD & ARE NOT SPECIFIED BY NAME & RECOMMENDED BY THE TERM "OR EQUAL", OBTAIN THE ARCHITECTS APPROVAL FOR THE USE OF AN UNNAMED OR ALTERNATE PRODUCT.
- WHERE THE CONTRACT DOCUMENTS REQUIRE MATCHING AN ESTABLISHED SAMPLE, THE ARCHITECT'S DECISION WILL BE FINAL ON WHETHER A PROPOSED PRODUCT MATCHES SATISFACTORILY.

- CONTRACTOR TO VERIFY ALL ACCESSORIES WITH OWNER PRIOR TO ORDERING, VIA FORMAL SUBMITTAL
- CONTRACTOR TO VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATIONS
- CONTRACTOR TO PERFORM ONE MOISTURE TEST PER 200 S.F. FOR VINYL TILE
- ALL BASE TO BE ROLLED GOODS
- VERIFY IN FIELD- TO BE DETERMINED, CONFIRM WITH G.C PRIOR TO INSTALLATIONS
- G.C TO UTILIZE MANUFACTURE RECOMMENDED GLUE FOR ALL GLUED DOWN PRODUCTS
- G.C TO ENSURE ALL TRANSITIONS ARE WHEELCHAIR COMPLAINT
- FOR CARPET TILE, G.C SHALL INSTALL GLUE TYPE THAT ALLOWS FOR REMOVAL/REPLACEMENT
- ALARM SYSTEM: DESIGN AND INSTALLATION OF FIRE, SMOKE, CARBON MONOXIDE DETECTOR AND ALARM SYSTEMS SHALL BE PLACING THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. SYSTEMS SHALL BE HARD WIRED AND INTERCONNECTED. CONTRACTOR SHALL PREPARE A DRAWING INDICATING THE DETAILS OF THE PROPOSED SYSTEMS AND PROVIDE SUCH DRAWINGS TO THE ARCHITECT AND BUILDING OWNER FOR REVIEW PRIOR TO INSTALLING SYSTEMS. DRAWING TO INCLUDE DETECTOR/ALARM LOCATIONS, ALARM TYPES, AND SYSTEM DATA. MOUNTING HEIGHT FOR PULL BE 44" - 48" A.F.F.; MOUNTING HEIGHT FOR NOTIFICATION DEVICES TO BE 6"-8" A.F.F.
- OTHER SYSTEMS: COORDINATE WITH OWNER THE LOCATION AND TYPE OF INSTALLATIONS FOR THE FOLLOWING: PHONE JACKS, COMPUTER/DATA NETWORK JACKS, CABLE TV JACKS, MUSIC/P.A. JACKS AND SPEAKER, INTERCOMS, DOOR BUZZERS, WALL TV ALARMS, CENTRAL VACUUM. CONTRACTOR TO VERIFY WITH OWNER WHICH SYSTEMS ARE TO BE PART OF THIS CONTRACT.
- GENERAL CONTRACTOR TO COORDINATE ALL SWITCH AND OUTLET LOCATIONS WITH TENANT PRIOR TO INSTALLATIONS



ATTENTION: LOCATION PLAN

DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL BE USED. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.

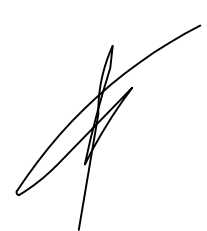
NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ARCHITECT.

VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION

# TENANT FIT OUT FOR A PERFECT BUD 31 S CHRISTOPHER COLUMBUS BLVD FORMERLY KNOWN AS 31 S MISSOURI AVE ATLANTIC CITY, NJ

SCHEDULE OF DRAWINGS:

T1	TITLE SHEET, GENERAL NOTES, EXISTING AND PROPOSED SITE PLAN, PROJECT DATA, BUILDING DATA, APPLICABLE CODES
T2	NOTES AND SPECIFICATIONS
T3	ADA DIAGRAMS
A1	FLOOR PLAN
A2	REFLECTED CEILING PLAN
A3	ELECTRICAL PLAN
A4	FINISH PLAN
A5	SITE PLAN

	
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Project	
TENANT FIT OUT A PERFECT BUD 31 S CHRISTOPHER COLUMBUS BLVD FORMERLY KNOWN AS 31 S MISSOURI AVE ATLANTIC CITY, NJ	
Issue Record	
02/17/23 PRELIM 1 03/01/23 PRELIM 2 03/15/23 PRELIM 3 03/28/23 FOR PERMIT 06/13/23 FOR PERMIT R1	
Sheet Title	
TITLE SHEET	
DATE: 02-17-23 PRJ. NO: SS-11-19 DRAWN BY: JB	T1



INTERIOR ENVIRONMENT  
GENERAL NOTES

FIELD VERIFY ALL DIMENSIONS, STRUCTURE, CONDITIONS, ETC. PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR POSSIBLE REDESIGN.  
ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS OR CONSTRUCTION MEANS AND METHODS.

**PLUMBING** – WATER CONSERVATION  
A. SHOWERS SHALL HAVE FLOW CONTROL LIMITED TO A MAXIMUM OF 3 GPM PER SHOWER HEAD.  
B. WATER CLOSETS, EITHER FLUSH TANK, FLUSHOMETER TANK OR FLUSHOMETER VALVE OPERATED, SHALL BE DESIGNED, MANUFACTURED AND INSTALLED TO BE OPERABLE AND ADEQUATELY FLUSHED WITH NO MORE THAN 1.5 GALLONS OR WATER PER FLUSH.  
**HEATING**  
THE PERFORMANCE OF THE HEATING SYSTEM SHALL BE GUARANTEED TO HEAT ALL ROOMS TO A TEMPERATURE OF 70°F, WITH AN OUTSIDE TEMPERATURE OF 0°F AND AN OUTSIDE WIND OF 15 MPH.

**SECTION 1: GENERAL**  
**GENERAL CONDITIONS**  
AA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, LATEST EDITION ARTICLES 1 TO 14 INCLUSIVE, AND SUPPLEMENTARY GENERAL CONDITIONS AS HEREINAFTER STIPULATED SHALL FORM PART OF EACH SEPARATE TRADE SPECIFICATION EXCEPT INsofar AS ANY SUCH PROVISIONS MAY BE MANIFESTLY NOT APPLICABLE TO ANY SUCH TRADE SPECIFICATION.  
  
PROVISIONS OF GENERAL CONDITIONS AND SUPPLEMENTARY GENERAL CONDITIONS OF THE CONTRACT, FORM PART OF EACH TRADE SPECIFICATION AND APPLY ALIKE TO ALL CONTRACTORS, SUBCONTRACTORS, MATERIAL MEN, OR OTHER PERSON(S) SUPPLYING ANY LABOR OR MATERIAL ENTERING INTO THIS PROJECT, EITHER DIRECTLY OR INDIRECTLY, AND APPLY WITH EQUAL FORCE TO WORK, EXTRA WORK AND LIKE WORK THAT MAY BE SPECIFIED HEREIN OR PERFORMED IN OR ABOUT SITE UNDER THIS CONTRACT.  
  
COPIES OF AA DOCUMENT A201 MAY BE REFERRED TO IN THE OFFICE OF THE ARCHITECT.  
THESE GENERAL CONDITIONS SHALL APPLY TO ALL TRADES UNDER THIS CONTRACT. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL WORK, WHETHER HIS OWN, HIS EMPLOYEES, THE SUBCONTRACTORS, OR THEIR EMPLOYEES. THE SUBCONTRACTOR WILL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIAL AND SUPERVISIONS FOR ITS PORTION OF THE PROJECT.

THE SUBCONTRACTOR'S FEE INCLUDES SUPERVISION OF THE SUBCONTRACTOR'S EMPLOYEES.  
THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE. THE CONTRACTOR ASSUME ALL RISKS IN THE PERFORMANCE OF THE WORK.  
THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, MATERIAL, EQUIPMENT AND LABOR REQUIRED TO IMPLEMENT THE PLANS AND SPECIFICATIONS.  
  
THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION, AND ALL PHASES OF ITS CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING, COORDINATION, MANAGEMENT AND ADMINISTRATION OF SUBCONTRACTS.  
**OWNERSHIP AND USE OF DOCUMENTS**  
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, WITH THE EXCEPTION OF ONE CONTRACT SET FOR EACH PARTY TO THE CONTRACT, SUCH DOCUMENTS ARE TO BE RETURNED OR ACCOUNTED FOR TO THE ARCHITECT ON REQUEST AT THE COMPLETION OF THE WORK, SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE ARCHITECTS COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.

THE CONTRACTOR SHALL PROVIDE A SAFETY ENGINEER WHO WILL ESTABLISH THE SAFETY ADMINISTRATION OF SUBCONTRACTORS.  
  
THE CONTRACTOR SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH: THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES; AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE OWNER FOR THE PROJECT.  
  
THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISKS OF INJURY. THE CONTRACTOR IS TO PROVIDE WARNING SIGNS AND LIGHTS, BARRICADES, RAILINGS, AND OTHER SAFEGUARDS. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION PRIOR TO BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE BEGINNING OF WORK WILL BE EVIDENCE OF FAULTY WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
  
DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.  
NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERTAKEN WITH OUT THE ARCHITECT'S WRITTEN CONSENT, A COPY OF WHICH WILL BE FILED WITH THE CONSTRUCTION OFFICIAL.  
  
THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTORS. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT AND EXTENT OF THE WORK. AS WORK PROGRESSES, THE OWNER AND CONTRACTOR AT NO EXTRA COST, SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.  
THE OWNER SHALL SUPPLY A SUFFICIENT NUMBER OF COPIES OF DRAWINGS AND SPECIFICATIONS TO CARRY OUT THE WORK.  
  
DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ARCHITECT. THE SUCCESSFUL BIDDER WILL BE RESPONSIBLE FOR THE SECURITY OF THE PREMISES. ANY WINDOWS, DOORS OR DEDAGING OF EXTERIOR OR INTERIOR SURFACES SHALL BE THE RESPONSIBILITY OF THE THE GENERAL CONTRACTOR UP UNTIL THE TIME THE KEYS TO THE BUILDING ARE TURNED OVER TO THE OWNER.  
ALL LABOR SHALL BE PERFORMED IN THE BEST AND MOST WORKMANLIKE MANNER.  
PROTECT ALL CONSTRUCTION AND/OR MATERIALS FROM INCLEMENT WEATHER AND TAKE PRECAUTIONS TO PREVENT FIRE. NO EXTRAS WILL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT AND/OR OWNER.  
THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY SUPERVISION OR INSPECTION FOR THIS JOB AND THEREFORE, IS NOT RESPONSIBLE FOR THIS PHASE OF THE CONTRACT.  
  
THE DESIGN PROFESSIONAL'S INSPECTION FOR COMPLIANCE WITH THE PLANS AND SPECIFICATIONS SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION MEANS OR METHODS EMPLOYED BY THE CONTRACTOR OR ANY SUBCONTRACTOR.

**CLEANING**  
IN ADDITION TO CLEAN-UP AS WORK PROGRESSES, A FINAL BROOM CLEANING SHALL BE PERFORMED AND AS THE WORK OF EACH SUBCONTRACTOR AND THE GENERAL CONTRACTOR IS COMPLETED.  
**PAYMENTS, LIENS & GUARANTEES**  
PROVIDE AND PAY FOR ALL PERMITS AND INSPECTION FEES AS REQUIRED FOR THIS PROJECT.  
UTILITY CONNECTION FEES SHALL BE PAID BY THE OWNER, WHEN REQUIRED. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL PAYMENT. THE OWNER SHALL MAKE PROGRESS PAYMENTS TO THE CONTRACTOR AS VARIOUS PORTIONS OR WORK ARE COMPLETED AS PROVIDED IN THE OWNER'S CONTRACT WITH THE GENERAL CONTRACTOR.  
**LIENS, CLAIMS, ETC.** THE CONTRACTOR SHALL FURNISH THE OWNER WITH SATISFACTORY EVIDENCE THAT ALL PERSONS WHO HAVE DONE WORK OR FURNISHED MATERIALS UNDER THIS CONTRACT HAVE BEEN PAID, AND THAT ALL CLAIMS FOR DAMAGES OF ANY KIND CAUSED BY THE EXECUTION OF SAID WORK HAVE BEEN FULLY AND SATISFACTORILY SECURED.  
**INSURANCE**  
INSURANCE GUIDELINES ARE FOR ESTIMATING PURPOSES ONLY. THE OWNER SHALL SET ACTUAL LIMITS ON THE ADVICE OF LEGAL COUNSEL AND A QUALIFIED INSURANCE BROKER.  
INSURANCE CERTIFICATES: THE CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE MADE OUT IN THE NAME OF THE OWNER, SHALL BE SUBMITTED TO THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK.  
**WORKMEN'S COMPENSATION:** EACH CONTRACTOR SHALL CARRY PUBLIC LIABILITY INSURANCE IN THE AMOUNT OF \$300,000 – \$500,000, DEVIATION  
PROPERTY DAMAGE: EACH CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE IN THE AMOUNT OF \$500,000 – OR DOUBLE THE CONTRACT AMOUNT, WHICH EVER IS GREATER.  
FIRE INSURANCE: EACH CONTRACTOR SHALL CARRY FIRE INSURANCE WITH EXTENDED COVERAGE.

**INDEMNITY:** THE CONTRACTOR SHALL INDEMNIFY AND SAVE THE OWNER AND ARCHITECT AND THEIR AGENTS AND EMPLOYEES HARMLESS FROM ALL CLAIMS FOR LOSS OR DAMAGE TO PROPERTY OR PERSONAL INJURIES TO, OR DEATH OF ANY AND ALL PERSONS, INCLUDING, WITHOUT LIMITATIONS, EMPLOYEES, AGENTS AND SERVANTS, OR CONTRACTORS OR SUBCONTRACTORS ARISING OUT THE WORK DONE BY THE CONTRACT, HIS EMPLOYEES, AGENTS SERVANTS AND/OR SUBCONTRACTORS.  
  
**CONTRACTOR AND/OR OWNER LIABILITY:** THE CONTRACTOR AND/OR OWNER AGREES TO ASSUME, AND DOES HEREBY ASSUME, ALL LIABILITY FOR AND SHALL AND DOES HEREBY AGREE TO INDEMNIFY AND SAVE HARMLESS THE OWNER AND/OR THE ARCHITECT AGAINST ANY AND ALL LOSS, COST, CHANGE, OR DAMAGE ARISING FROM INJURIES SUSTAINED BY MECHANICS, LABORERS, WORKMAN, OR BY ANY PERSONS WHATSOEVER, WHETHER EMPLOYED IN AND ABOUT THE SAID WORK OR OTHERWISE BY REASON OR ANY ACCIDENTS DAMAGES OR INJURIES, TORTS OR TRESPASSES HAPPENING IN AND ABOUT OR IN ANY WAY INCIDENT TO OR BY REASON OF THE DOING OF SAID WORK INCLUDING COSTS, COUNSEL FEES, AND ALL EXPENSES OF DEFENSE.

**SAFETY**  
ALL CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING STATE, LOCAL AND THE OSHA ACT.

**SECTION 5: METALS**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THESE SPECIFICATIONS.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
ALL STRUCTURAL STEEL SHALL BE NEW UNUSED STOCK, OF SIZES SHOWN ON DRAWINGS, AND SHALL CONFORM TO THE LATEST EDITION OF ASTM SPECIFICATION A-36 STEEL.  
ALL STEEL SHALL HAVE A SHOP COAT OF RED OXIDE PAINT. INCLUDE ALL BEAMS, PIPE COLUMNS BASE AND LEVELING PLATES, CONNECTORS, BOLTS, ETC.  
ALL ITEMS SUCH AS RAILINGS SHALL CONFORM TO OSHA STANDARDS.  
FURNISH ALL STEEL LOOSE LINTELS AS CALLED FOR OR REQUIRED. SEE DRAWINGS FOR SIZE. PROVIDE SUFFICIENT LENGTH TO ALLOW FOR MINIMUM 6" BEARING EACH END.  
UNLIKE METALS IN CONTACT SHALL BE SEPARATED BY ELASTOMERIC FLASHING OR BITUMINOUS PAINT TO AVOID GALVANIC ACTION.

**SECTION 6: CARPENTRY**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATIONS.  
SCOPE: FURNISH ALL LABOR MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
PROVIDE AND INSTALL ALL ROUGH AND FRAMING LUMBER, ALL STRIPPING, BLOCKING, STUDS, BRACES, ETC. AS REQUIRED FOR THE PROPER COMPLETION OF THE JOB.  
MAXIMUM SPACING OF ALL STUDS, FLOOR JOISTS, CEILING JOISTS, AND ROOF RAFTERS SHALL BE 16" O.C., UNLESS ALL FRAMING SHALL BE INSTALLED TRUE, LEVEL, IN LINE, PLUMBED, SQUARED, WELL SPIKED AND NAILED, PROPERLY BRACED AND WELL SECURED IN POSITION.  
ALL LUMBER AND MILLWORK DELIVERED TO THE JOB SHALL BE IN FIRST CLASS CONDITION AND SHALL BE PROPERLY STORED AND PROTECTED AGAINST THE WATER AND TERMITE INFESTATION. STORE ALL LUMBER OFF THE GROUND AND KEEP COVERED WHEN NOT IN USE. DO NOT ACCEPT ANY MATERIAL THAT IS NOT IN ACCORDANCE WITH THE REQUIREMENTS HEREIN.

**FINISH CARPENTRY & MILLWORK**  
ALL CARPENTRY WORK THROUGHOUT SHALL BE FIRST-CLASS, PERFORMED BY SKILLED MECHANICS IN ACCORDANCE WITH BEST MODERN PRACTICES.  
ALL FINISH NAILING SHALL BE NEAT, AND ALL MILLWORK CAREFULLY FITTED.  
ALL EXTERIOR FINISH WORK AND TRIM MUST BE BACK PRIMED BY THE PAINTER BEFORE IT IS INSTALLED. MAKE END JOINTS OVER SOLID BEARING AND STAGGER END JOINTS AT LEAST 24".  
GUARD RAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT AND IN ANY DIRECTION ALONG THE TOP RAILING MEMBER.  
THE IN-FILL AREA OF A GUARD RAIL SHALL BE CONSTRUCTED FOR HORIZONTAL CONCENTRATED LOAD OF 200 POUNDS APPLIED ON A 1-SQUARE-FOOT AREA AT ANY POINT IN THE SYSTEM, INCLUDING INTERMEDIATE RAILS OR OTHER ELEMENTS SERVING THIS PURPOSE.  
HANDRAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT ANY POINT AND IN ANY DIRECTION.

**SECTION 9: FINISHES**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND LABOR NECESSARY TO COMPLETELY FINISH AND PROTECT THE BUILDING AS CALLED FOR IN THE DRAWINGS AND SPECIFICATIONS ALL FINISH SURFACES TO BE SMOOTH, EVEN AND FREE FROM DETECTS.

**GYPSTUM WALLBOARD**  
ALL WALLBOARD, TAPE, JOINT COMPOUND BEADS AND OTHER ACCESSORIES SHALL BE A MANUFACTURED BY U.S. GYPSTUM CO. OR EQUAL. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS USING 1-1/4" TYPE W SCREENS 12" O.C. AT CEILINGS, 8" O.C. AT WALL. AT COMPLETION LEAVE ALL WALLS AND CEILING'S TRUE, SMOOTH AND WITHOUT NOTICEABLE IRREGULARITIES, READY FOR PAINTING AND DECORATING.  
ALL WALLBOARD SHALL BE OF THE FOLLOWING TYPES- SEE DRAWINGS FOR LOCATIONS.  
1. WALL: 5/8" TYPE "X" FC  
2. CEILINGS: 5/8" TYPE "X" FC  
3. GARAGE: 5/8" TYPE "X" FC  
4. FURNACE/HOT WATER HEATER AREA TO BE PROTECTED WITH 5/8" TYPE"X" GYP. BD.  
5. BATHROOM WALL, KITCHEN WALL, WET AREAS -5/8" TYPE "X" THICK WATER RESISTANT CEMENT BACKER BOARD.  
**INTERIOR PAINTING**  
THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND LABOR NECESSARY TO COMPLETELY FINISH AND PROTECT THE BUILDING AS CALLED FOR IN THE DRAWINGS.  
ALL FURNISHED SURFACES TO BE SMOOTH, EVEN, AND FREE FROM ANY DEFECTS. BRUSHWORK SHALL SHOW EVEN COATING, FREE FROM BRUSHMARKS.  
PREPARE ALL SURFACES BEFORE PAINTING, REMOVING DUST, GREASE, AND MARKS FROM SURFACE. SANDPAPER ALL WOODWORK BEFORE STARTING WORK. PUTTY ALL HOLES, CRACKS, ETC., AFTER PRIMERS IS APPLIED ON PAINTED SURFACES. USE TINTED PUTTY TO MATCH WOODWORK ON STAINED AND VARNISHED SURFACES. KNOTS, SAP STREAKS, ETC. TO BE SHELLACED BEFORE PAINT IS APPLIES.  
PAINTING MATERIALS USED SHALL BE AS MANUFACTURED BY BENJAMIN MOORE OR APPROVED EQUAL. PAINTING SHALL CONSIST OF ONE COAT PRIME AND TWO COATS FINISH COLOR AS SELECTED BY OWNER.  
ALL COLORS SHALL BE SELECTED BY THE OWNER FROM SAMPLES SUBMITTED BEFORE WORK IS STARTED.  
ALL TRIM AND ANY SIMILAR EXPOSED WOOD SHALL BE STAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION FOR APPLICATION. COLOR AS SELECTED BY OWNER.  
AT COMPLETION OF JOB, DO ALL TOUCH-UP AND RESTORATION OF ANY DAMAGED FINISHED. CLEAN ALL PAINT SPOTS FROM FLOORING, WALLS, GLASS, FINISHED HARDWARE AND SURFACES.  
REMOVE ALL ACCUMULATED MATERIALS AND DEBRIS FROM THE PREMISES.

**CERAMIC TILE**  
TILE, MARBLE, ETC. TO BE THOROUGHLY CLEANED WHEN WORK IS COMPLETE AND AGAIN AFTER OTHER MECHANICS HAVE COMPLETED THEIR WORK.  
ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE TILE COUNCIL OF AMERICA, INC. STANDARDS AND SPECIFICATIONS. ALL TILE TYPES, SIZE AND COLORS TO BE SELECTED BY THE OWNER.  
**MISCELLANEOUS FINISHES**  
WOOD PANELING, VINYL WALLCOVERING, ACOUSTICAL TILE CEILINGS AND OTHER MISCELLANEOUS FINISHES SHALL BE AS SELECTED BY THE OWNER. THE CONTRACTOR SHALL INSTALL THE MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

**SECTION 10: SPECIALTIES**  
THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES INDICATED IN THE DRAWINGS IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTION. UNLESS OTHERWISE NOTED OR SELECTED BY THE OWNER, THE FOLLOWING ITEMS SHALL BE GIVEN FIRST PREFERENCE AND SHALL SET THE QUALITY AND DESIGN STANDARDS. SUBSTITUTIONS SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED BUT SHALL MEET OR EXCEED THESE STANDARDS. ALL ITEMS SHALL BE INSTALLED BY QUALIFIED MECHANICS.  
**BATHROOM AND TOILET ACCESSORIES**  
IN BATHS, LAVATORIES AND DRESSING ROOMS AS SHOWN ON DRAWINGS, MIRRORS TO BE ONE PIECE, 1/4" PLATE GLASS, MIRROR QUALITY-LOF, PPS, OR EQUAL. INSTALL WITH CONCEALED FASTENINGS. SEE DRAWING FOR LOCATIONS AND SIZES. PROVIDE AND INSTALL TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINET & SHOWER CURTAIN ROD IN EACH BATHROOM AS SELECTED BY OWNER.  
**SHELVING**  
WHERE INDICATED, SHELVING IN BEDROOM CLOSETS SHALL BE OPEN VINYL COATED WIRE BY CLOSET MAID, OR EQUAL. ALL OTHER AREAS SHALL BE 3/4" PARTICLE BOARD WITH VINYL FACE STRIP, UNLESS NOTED OTHERWISE.

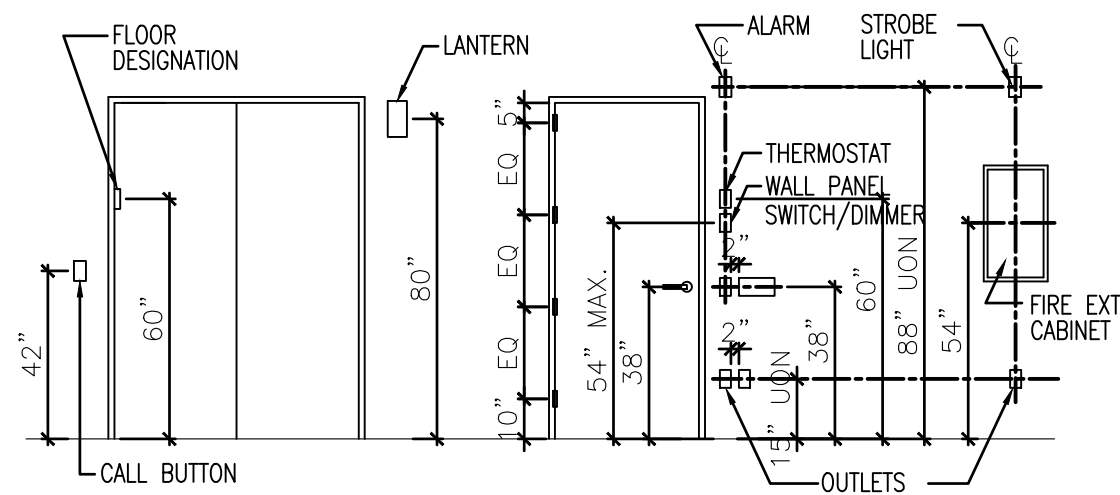
**SECTION 11: EQUIPMENT**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
PROVIDE AND INSTALL AS PER MANUFACTURER'S DIRECTIONS ALL EQUIPMENT INCLUDING KITCHEN APPLIANCES, LAUNDRY, FANS, PREFABRICATED FIREPLACE, GARAGE DOOR OPENER AS INDICATED ON DRAWINGS. SEE ALSO LISTING UNDER SPECIAL CONSTRUCTION.  
DUCT TO EXTERIOR TO BE PROVIDED FOR RANGE HOOD, DRYER, AND BATH EXHAUST.  
SECURITY SYSTEM TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR. SYSTEM TO INCLUDE WATER PRESSURE MONITORS, TEMPERATURE, CO MONITOR, AS WELL AS SECURITY AND FIRE. VERIFY ADDITIONAL REQUIREMENTS WITH OWNER.

**SECTION 13: SPECIAL CONSTRUCTION**  
SMOKE DETECTOR CONTRACTOR TO SUPPLY SAMPLE UNIT FOR APPROVAL BY OWNER. UNITS TO BE PHOTO ELECTRIC-TYPE, INTERCONNECTED WITH BATTERY BACKUP.  
INSTALL INTERCONNECTED CARBON MONOXIDE DETECTORS IN ROOMS WITH GAS APPLIANCES INCLUDING FURNACE AREA. (SEE SECURITY SYSTEM.)

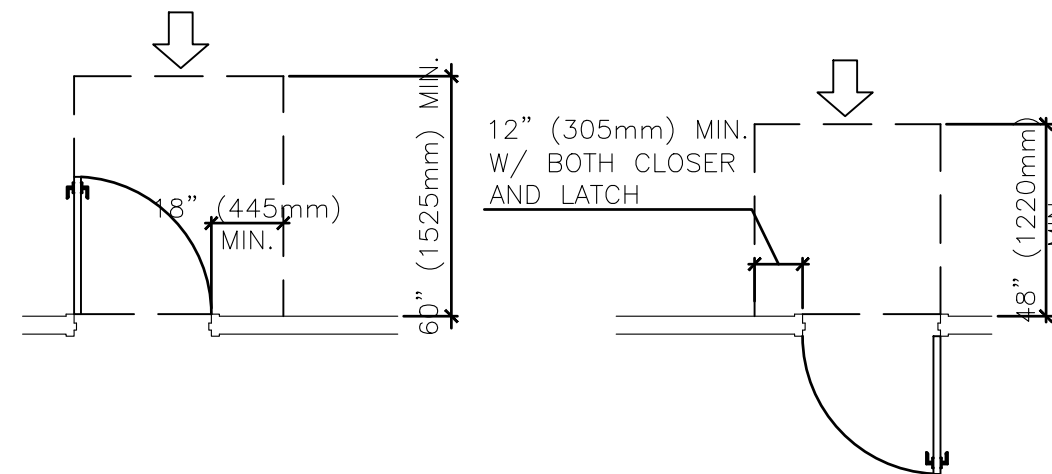
**SECTION 15: MECHANICAL**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST BOCA BASIC MECHANICAL CODE, NFPA AND NATIONAL STANDARD PLUMBING CODE AND ASHRAE STANDARDS. WHERE DIFFERENCES EXIST BETWEEN THIS SPECIFICATION AND CODES, THE CODE SHALL GOVERN AND WORK SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER.  
**HEATING SYSTEM**  
THE CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT EXTRA COST TO THE OWNER, ANY LABOR, MATERIALS, SERVICES, APPARATUS, DRAWINGS (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS), IN ORDER TO COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES REGULATION, WHETHER OR NOT SHOWN ON DRAWINGS AND/OR SPECIFIED, SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES AND OTHER COSTS RELATING WITH HIS WORK. THE HEATING SYSTEM SHALL BE OF THE FOLLOWING TYPE: GAS FIRED HYDRONIC BOILER WITH ZONE VALVES AS INDICATED ON THE DRAWINGS, BASEBOARD SYSTEM. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE HEATING SYSTEM SHOWING EQUIPMENT SIZE, ZONING, AMOUNT, AND LOCATION.  
WHEN OUTSIDE TEMPERATURES IS 0°F DRY BULB, THE HEATING SYSTEM IS TO PROVIDE A MINIMUM ROOM TEMPERATURE OF 70°F DRY BULB. THE CONTRACTOR SHALL SUBMIT A LAYOUT OF THE HEATING PLAN TO THE OWNER FOR APPROVAL.  
**COOLING SYSTEMS**  
CONDENSING UNIT AND AIR HANDLING UNIT SHALL BE LOCATED AS INDICATED ON PLAN. EQUIPMENT TO BE AS SELECTED BY OWNER. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE MECHANICAL SYSTEM SHOWING DUCT SIZES AND LOCATIONS OF DIFFUSERS, R.A.U., F.A.U., ETC. AND MECHANICAL UNIT LOCATIONS.  
THE CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT EXTRA COST TO THE OWNER, AND LABOR, MATERIALS, SERVICES, APPARATUS, DRAWINGS, (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS), IN ORDER TO COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES REGULATIONS, WHETHER OR NOT SHOWN ON DRAWINGS AND/OR SPECIFIED, SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS AND PAY ALL TAXES, FEES AND OTHER COSTS RELATING TO HIS WORK.  
WHEN OUTSIDE TEMPERATURE IS 95°F DRY BULB AND 75°F WET BULB, INSIDE TEMPERATURE ON THE UPPER LEVEL SHALL BE 78°F DRY BULB AND 67°F WET BULB.  
HVAC CONTRACTOR SHALL PROVIDE ALL REQUIRED MAGNETIC CONTACTS, SELECTOR SWITCHES, THERMOSTATS, TIME SWITCHES, DAMPERS, DAMPER MOTORS, LINKAGE, TURNING VANES, CONTROLS, ETC., AND ALL WIRING AND CONTROL DIAGRAMS AND ALL CONDUCTORS FOR ALL EQUIPMENT HE IS SUPPLYING.  
ALL REFRIGERANT PIPING SHALL BE TYPE "L" HARD DRAWN OR SOFT SEAMLESS COPPER TUBING WITH WROUGHT COPPER FITTINGS, ALL JOINTS SHALL BE 95/5 SOLDER.  
ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH SCREWED MALLEABLE IRON FITTINGS, ALL JOINTS SHALL BE MADE WITH APPROVED THREAD COMPOUND.  
ALL REFRIGERANT PIPING OUTSIDE THE BUILDING SHALL BE INSULATED WITH 1" ARMAFLEX WITH ALL SEAMS SEALED AND VAPOR PROOF JACKET AND PASTED CANVAS COVER WITH TWO FINISH COATS OF ADHESIVE SUITABLE FOR PAINTING.  
ALL PIPING SHALL BE SUPPORTED AT SPACINGS RECOMMENDED IN THE LATEST EDITION OF ASHRAE WITH APPROVED HANGERS. ALL PIPING SHALL BE HUNG FROM STRUCTURAL MEMBER, NOT FROM ROOFING DECK.  
ALL DUCT WORK SHALL BE INSULATED IN ACCORDANCE WITH ASHRAE, BOCA, & ALL LOCAL CODES.  
DUCTWORK SHALL BE FIELD ORIENTED TO MAINTAIN ALL STRUCTURAL REQUIREMENTS.  
ALL COPPER PIPING FOR HYDRONIC SHALL BE HUNG ON ANY HORIZONTAL OR VERTICAL RUN MAXIMUM 10'-0" BETWEEN HANGERS.  
SHEET METAL DUCTWORK AND INSULATION AS REQUIRED TO COMPLETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST ASHRAE GUIDE AND CONFORM TO THE STANDARDS OF THE NFPA AND SHALL BE INSTALLED AT THIS TIME.  
ALL DIFFUSERS, REGISTER AND GRILLES, AS REQUIRED, SHALL BE EXTRUDED ALUMINUM DIRECTIONAL WALL OR CEILING TYPE WITH CAMPERS. ANEMOSTAT, WATERLOO, OF APPROVED EQUAL. SUBMIT CUTS FOR OWNER'S APPROVAL.  
ALL EQUIPMENT, BLOWERS, PUMPS CONTROLS, ETC. SHALL BE TESTED TO DEMONSTRATE A COMPLETE AND SATISFACTORY INSTALLATION.  
CONTRACTOR SHALL BALANCE SYSTEM UNDER ACTUAL LOAD CONDITIONS.  
**PLUMBING**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SUBMIT CUTS OF ALL PANELBOARDS FOR ARCHITECTS APPROVAL. ALL PANELS, METERS, ETC. TO BE LOCATED AND APPROVED BY THE OWNER.  
GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.  
RECEPTACLES AND SWITCHES SHALL BE LEVITON OR EQUAL. COLORS AS SELECTED BY THE OWNER.  
INSTALL LIGHT FIXTURES, SWITCHES AND ALL OTHER ITEMS COMPLETE AS SHOWN ON DRAWINGS. PROVIDE 3-WAY AND 4-WAY SWITCHES WHERE INDICATED. PROVIDE DIMMERS ON ALL LIGHTING CIRCUITS.  
PADDLLE FANS SHALL BE CASA BLANCA (STYLE BY OWNER). FOR ESTIMATING PURPOSE, SUBMIT BID WITH LIGHT KIT.  
CONTRACTOR TO PROVIDE AND INSTALL CABLE & TELEPHONE JACKS IN EACH ROOM AS INDICATED ON THE DRAWINGS.

**ELECTRICAL**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SUBMIT CUTS OF ALL PANELBOARDS FOR ARCHITECTS APPROVAL. ALL PANELS, METERS, ETC. TO BE LOCATED AND APPROVED BY THE OWNER.  
GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.  
RECEPTACLES AND SWITCHES SHALL BE LEVITON OR EQUAL. COLORS AS SELECTED BY THE OWNER.  
INSTALL LIGHT FIXTURES, SWITCHES AND ALL OTHER ITEMS COMPLETE AS SHOWN ON DRAWINGS.  
PROVIDE 3-WAY AND 4-WAY SWITCHES WHERE INDICATED. PROVIDE DIMMERS ON ALL LIGHTING CIRCUITS. FOR ESTIMATING PURPOSE, SUBMIT BID WITH LIGHT KIT.  
CONTRACTOR TO PROVIDE AND INSTALL CABLE & TELEPHONE JACKS IN EACH ROOM AS INDICATED ON THE DRAWINGS. REVIEW LOCATIONS WITH OWNER. ALL PHONE JACKS TO BE 2-LINE JACKS.  
**WIRING AND SERVICE**  
ALL LIGHT FIXTURES SHALL BE AS SELECTED BY THE OWNER. UNLESS OTHERWISE NOTED OR SELECTED BY THE OWNER, "LIGHTTOLER" PRODUCTS SHALL BE GIVEN FIRST PREFERENCE AND SHALL SET THE QUALITY AND DESIGN STANDARDS. SUBSTITUTIONS SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED BUT SHALL MEET OR EXCEED THESE STANDARDS.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PIPING, ETC. TO COMPLETE ALL THE WORK AS REQUIRED AND AS SHOWN ON THE DRAWINGS, INCLUDING CONNECTIONS TO ALL UTILITIES AT THE STREET.  
ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
PROVIDE AND PAY FOR ALL PERMITS AND INSPECTION FEES AS REQUIRED FOR THIS PROJECT.  
CARRY OUT REQUIRED TESTS ON WORK COMPLETED.  
INSTALL ALL PLUMBING FIXTURES, AS SHOWN ON DRAWINGS, AND AS SELECTED BY OWNER, COMPLETE WITH ALL NECESSARY FITTING AND TRIM AS REQUIRED AND SELECTED BY OWNER.  
UNLESS OTHERWISE NOTED, ALL PLUMBING FIXTURES TO BE KOHLER OR APPROVED EQUAL, COLOR AS SELECTED BY OWNER. PLUMBING HARDWARE TO BE AMERICAN STANDARDS OR SELECTED BY OWNER.  
ALL PIPING PENETRATIONS THROUGH STRUCTURAL LUMBER SHALL BE LOCATED AT THE CENTER OF MIDWAY BETWEEN TOP AND BOTTOM, VERIFY HOLE SIZE AND LOCATION WITH ARCHITECT.  
PROVIDE FROST PROOF HOSE BIBBS AND DRAIN DOWN CAPABILITY FOR OUTSIDE PLUMBING LINES IN UNHEATED SPACES.  
**SECTION 16: ELECTRICAL**  
GENERAL: COMPLY WITH GENERAL CONDITIONS AT THE BEGINNING OF THIS SPECIFICATION.  
SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.  
PHOTO-ELECTRIC TYPE SMOKE DETECTORS SHALL BE INSTALLED AT LOCATION SPECIFIED IN BOCA 902. UNITS SHALL BE HARDWIRED AND INTERCONNECTED.  
PROVIDE AND PAY FOR ALL PERMITS AND INSPECTION FEES AS REQUIRED FOR THIS PROJECT.  
DO ALL REQUIRED POWER AND TEMPERATURE CONTROL WIRING AS DIRECTED BY THE HVAC CONTRACTOR.  
SUBMIT CUTS OF ALL PANEL BOARDS FOR ARCHITECTS APPROVAL. ALL PANELS, METERS, ETC. TO BE LOCATED AND APPROVED BY THE OWNER. ALL ELECTRIC SHALL BE OF MEDICAL GRADE STANDARDS.

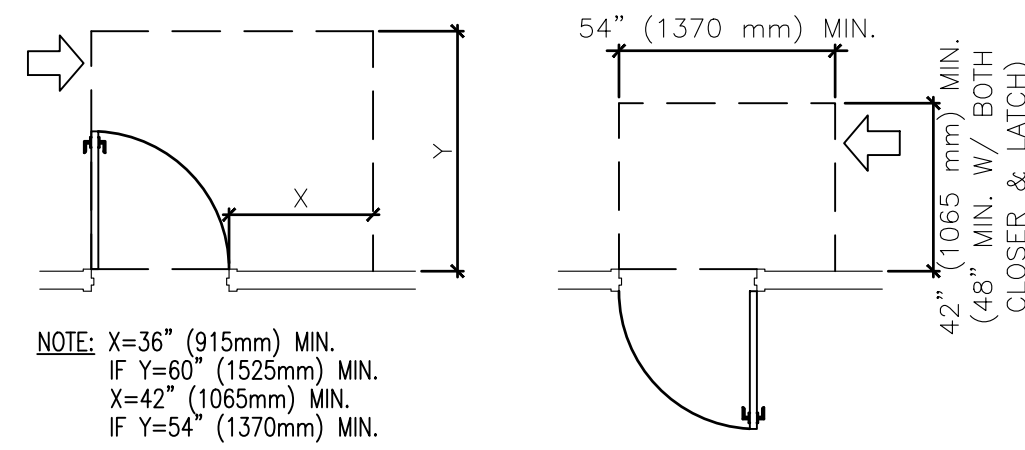
JEFFREY G. BELL RA LIC # 19745	
Project Team	
ARCHITECT JEFFREY G. BELL 786 LINDEN RD TOMS RIVER, NJ 08753 TEL 732.908.6416 JBELLARCH@GMAIL.COM	
Project	
TENANT FIT OUT A PERFECT BUI 31 S CHRISTOPHER COLUMBUS BLVD FORMERLY KNOWN AS 31 S MISSOURI AVE ATLANTIC CITY, NJ	
Issue Record	
02/17/23 PRELIM 1 03/01/23 PRELIM 2 03/15/23 PRELIM 3 03/28/23 FOR PERMIT 06/15/23 FOR PERMIT R1	
Sheet Title	
NOTES AND SPECIFICATIONS	
DATE: 02-17-23 PRJ. NO: SS-11-19 DRAWN BY: JB	T2



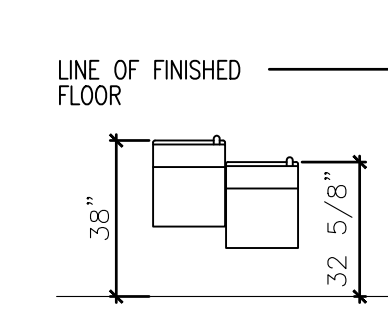
TYPICAL MOUNTING HEIGHTS



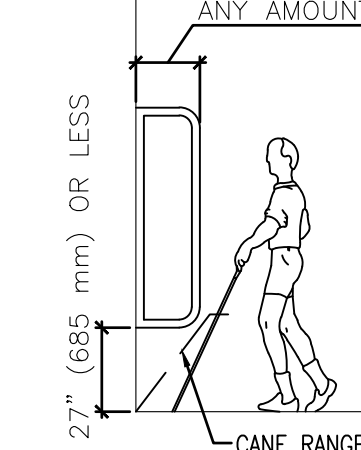
FRONT APPROACHES-SWINGING DOORS



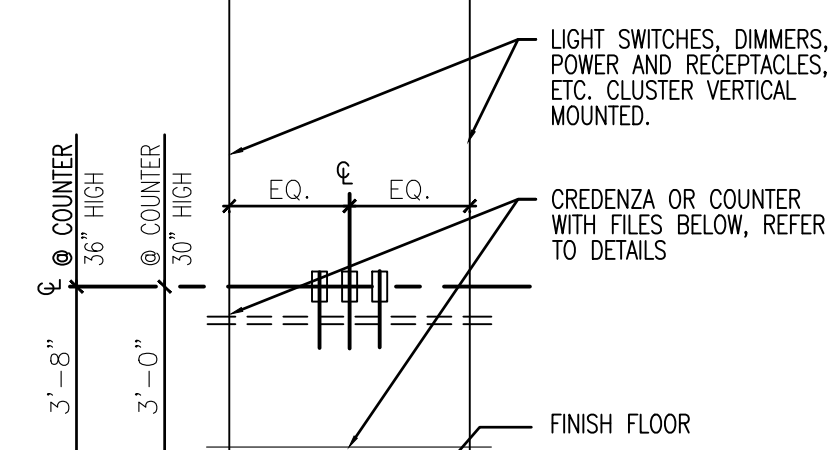
HINGE SIDE APPROACHES-SWINGING DOORS



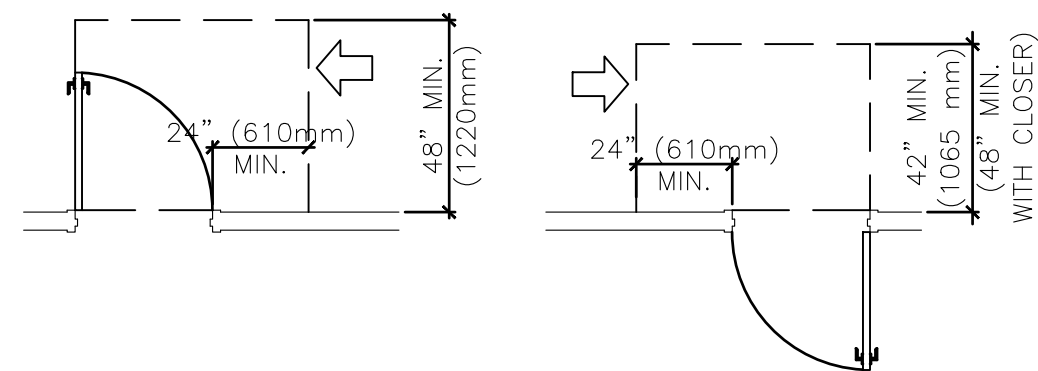
DRINKING FOUNTAIN MOUNTING HEIGHT



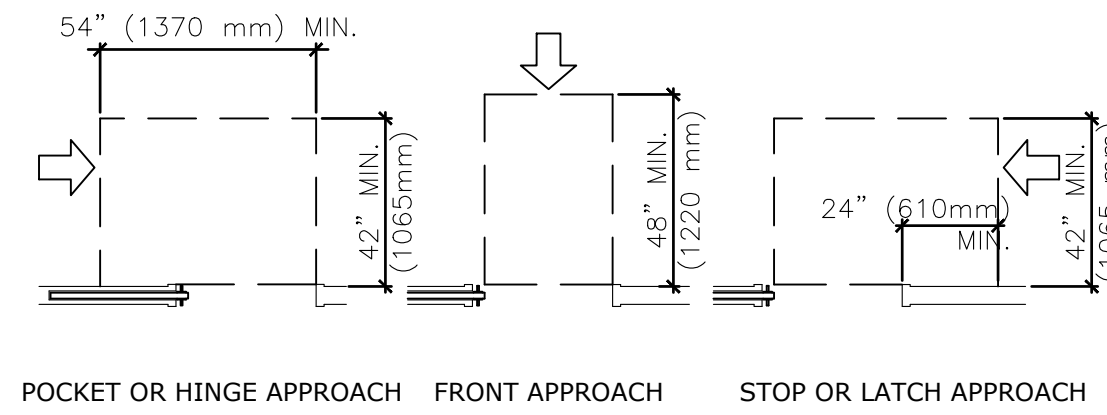
WALKING PERPENDICULAR TO A WALL



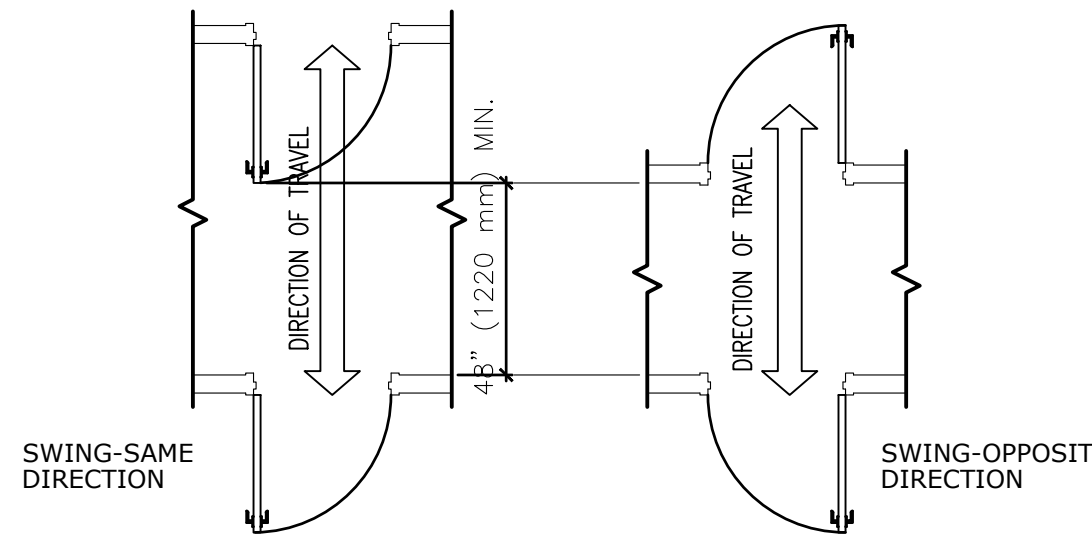
TYPICAL LOCATION FOR OUTLETS AT COUNTER OR CREDENZA (U.O.N.)



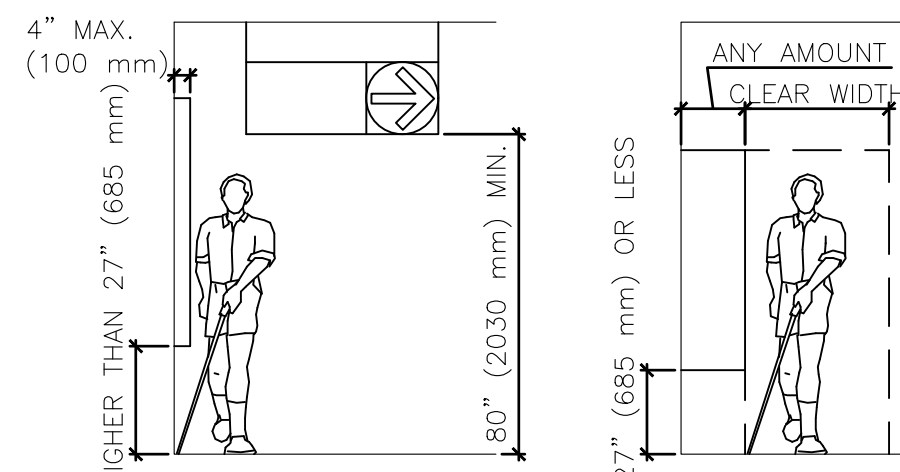
LATCH SIDE APPROACHES-SWINGING DOORS



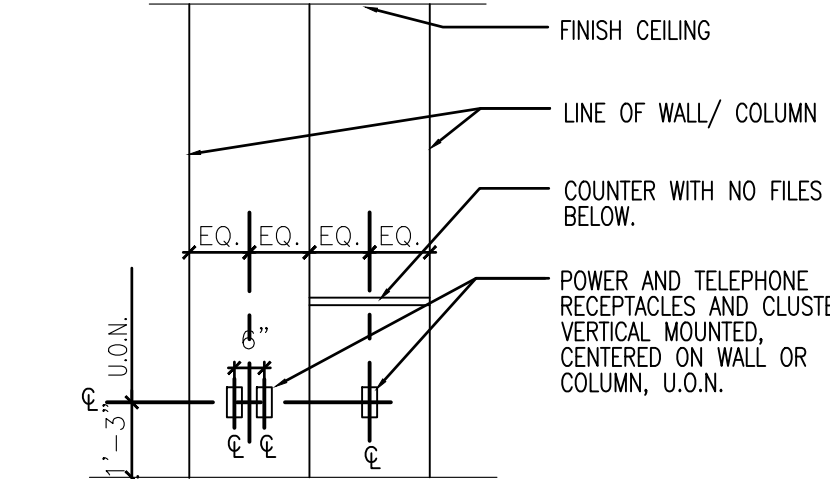
MANEUVERING CLEARANCE AT SLIDING AND FOLDING DOORS



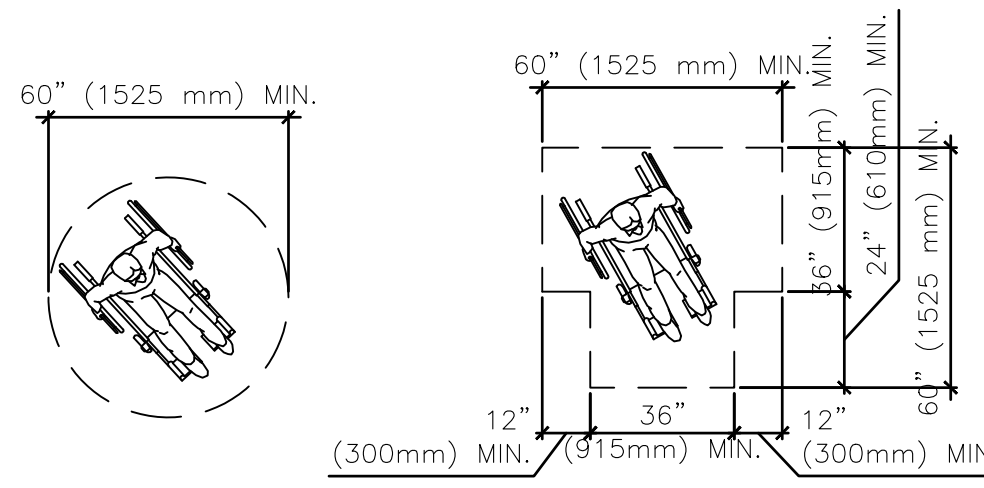
TWO HINGED DOORS IN SERIES



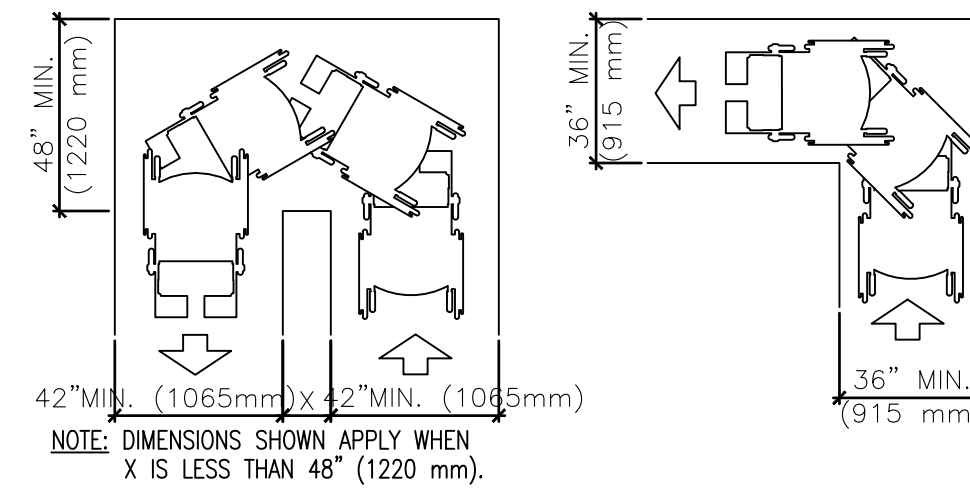
PROTRUDING OBJECTS



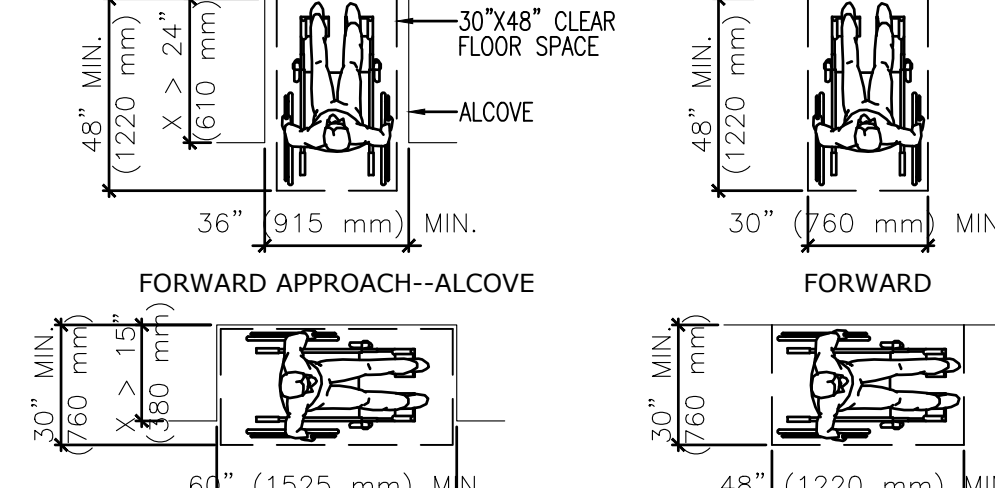
TYPICAL LOCATION FOR TELEPHONE AND POWER OUTLETS AT WALL OR COLUMN



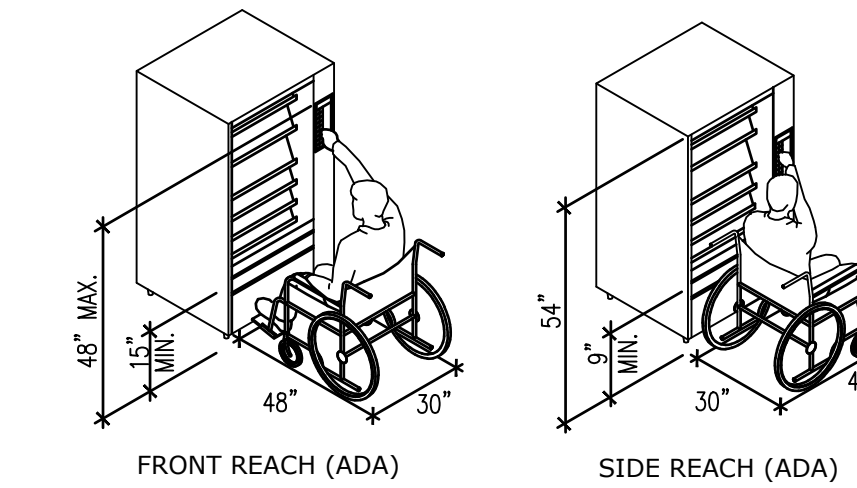
WHEELCHAIR TURNING SPACE



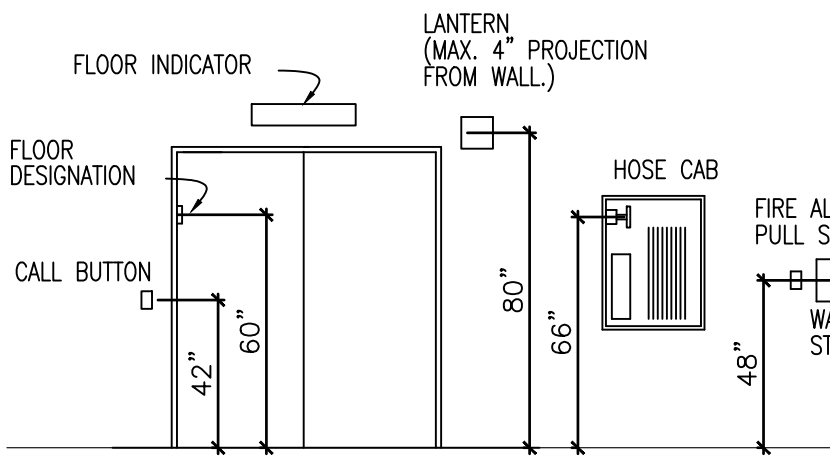
WHEELCHAIR TURNS



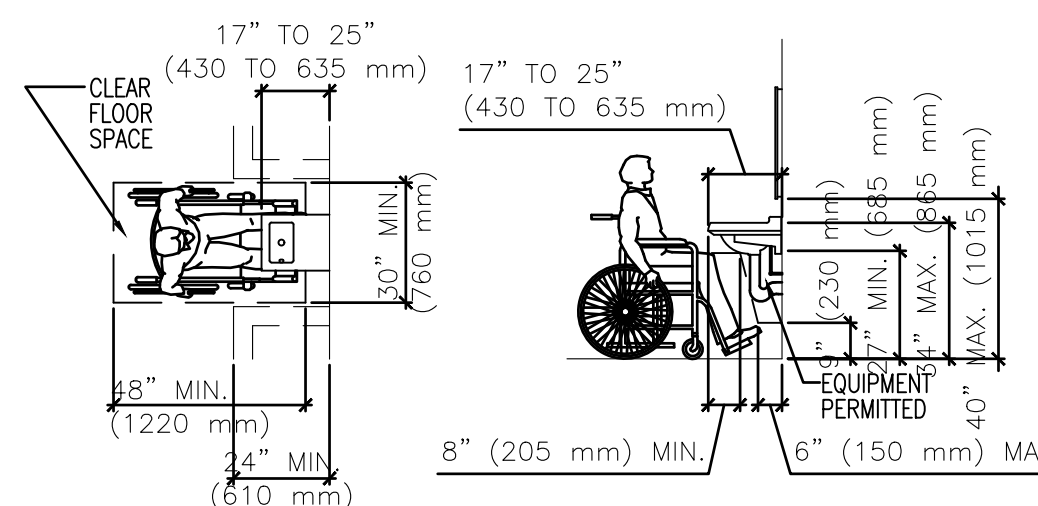
MANEUVERING CLEARANCE IN ALCOVES



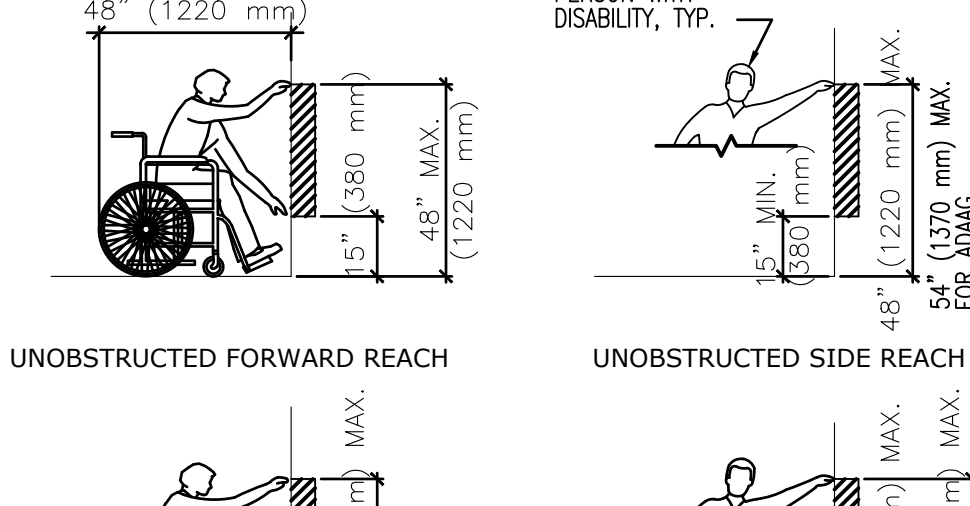
VENDING MACHINES AND OTHER EQUIPMENT



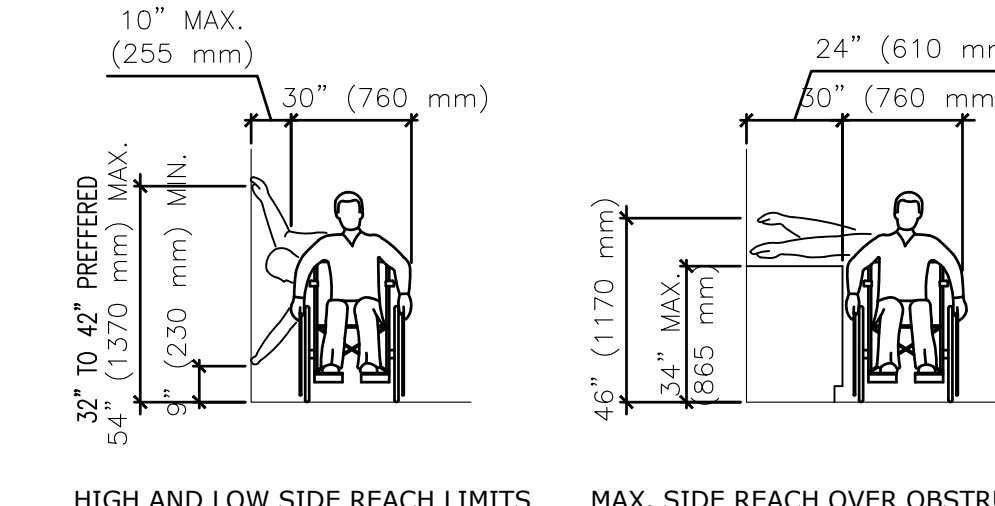
TYPICAL MOUNTING HEIGHT AT ELEVATOR FIRE HOSE CABINET, PULL STATION.



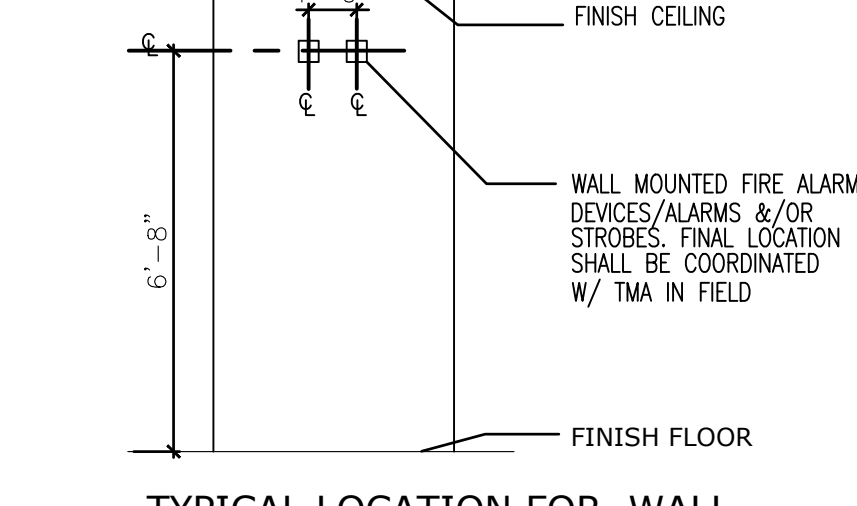
LAVATORY CLEARANCE



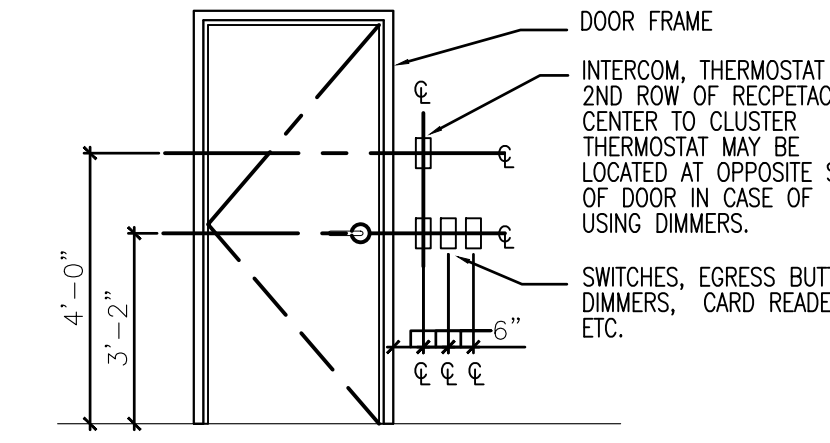
UNOBSTRUCTED FORWARD REACH



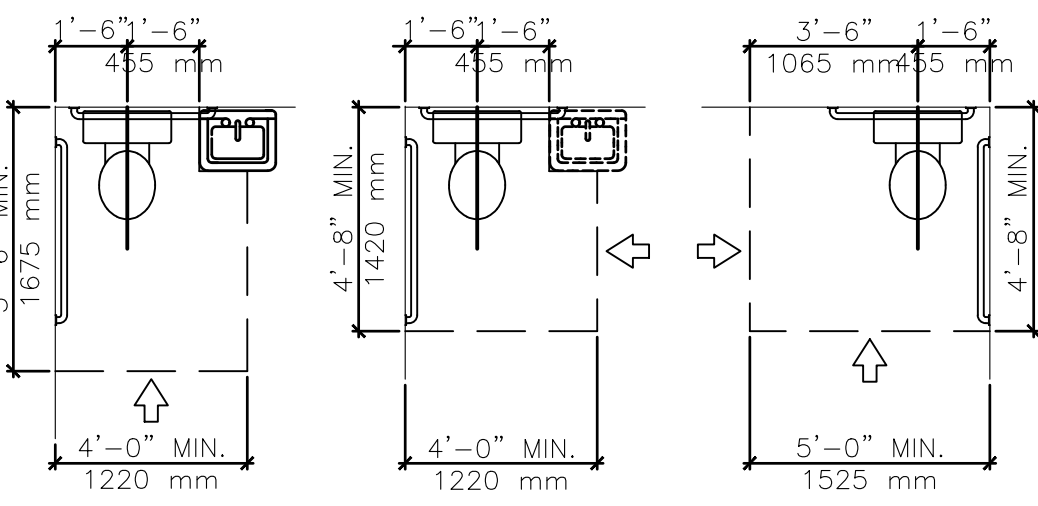
PARALLEL/SIDE REACH LIMITS



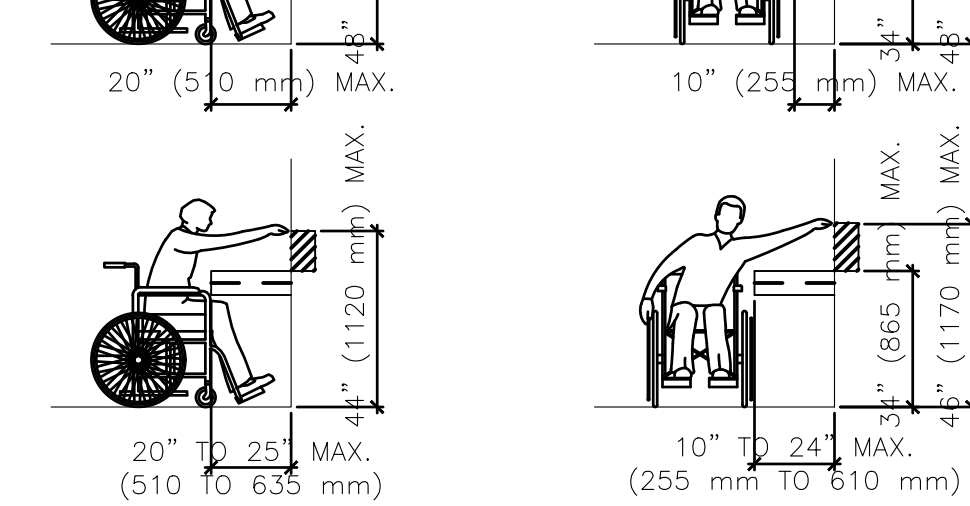
TYPICAL LOCATION FOR WALL MOUNTED FIRE ALARM



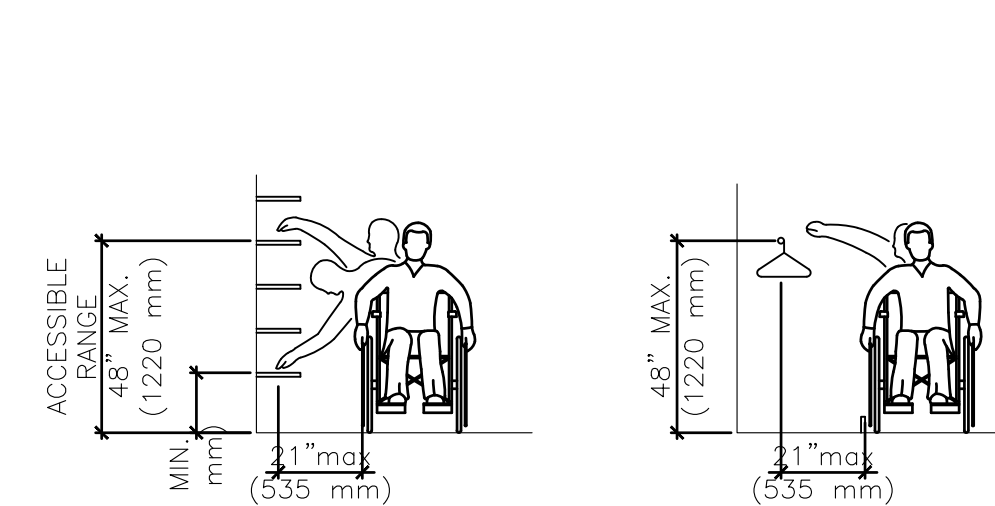
TYP. LOCATION FOR LIGHT SWITCHES, EGRESS BUTTON, THERMOSTATES, ETC.



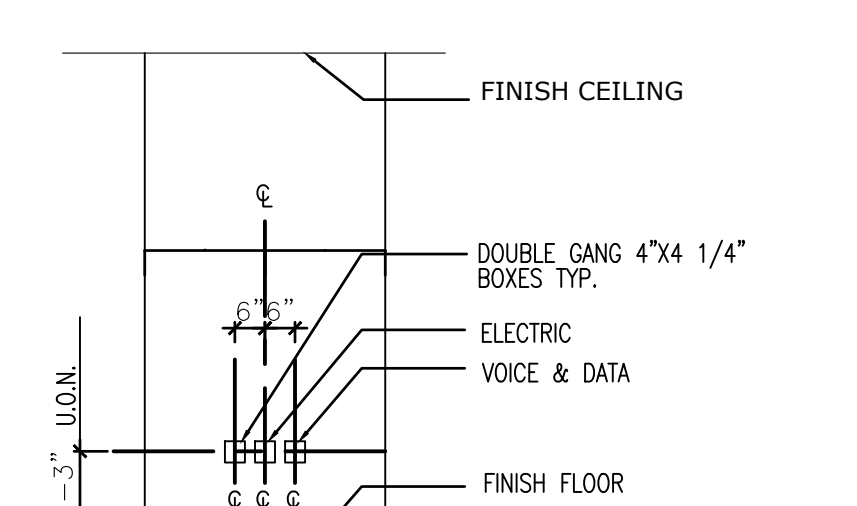
CLEAR FLOOR SPACE AT WATER CLOSETS



OBSTRUCTED HIGH FORWARD REACH



PARALLEL/SIDE REACH LIMITS



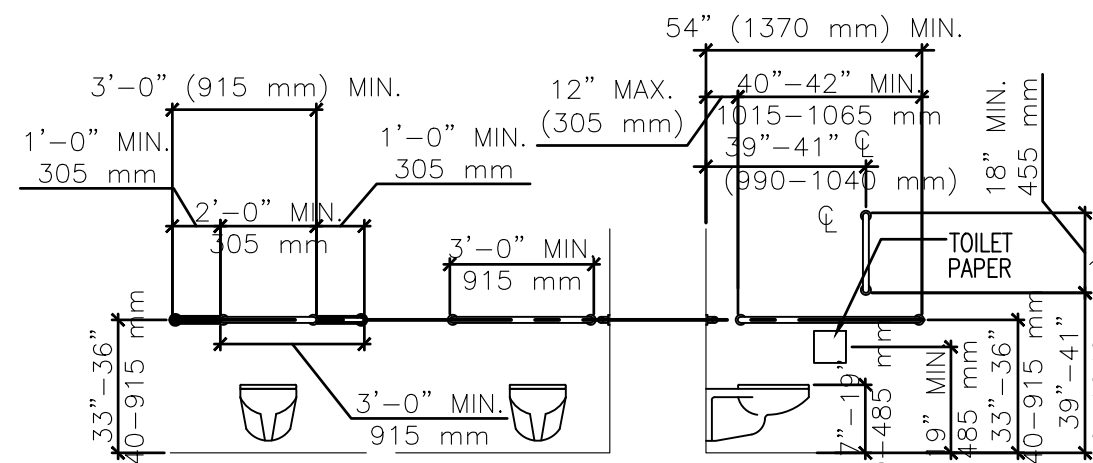
TYPICAL LOCATION FOR COMBINED OUTLETS AT VISIBLE AREAS

## ACCESSIBILITY NOTES

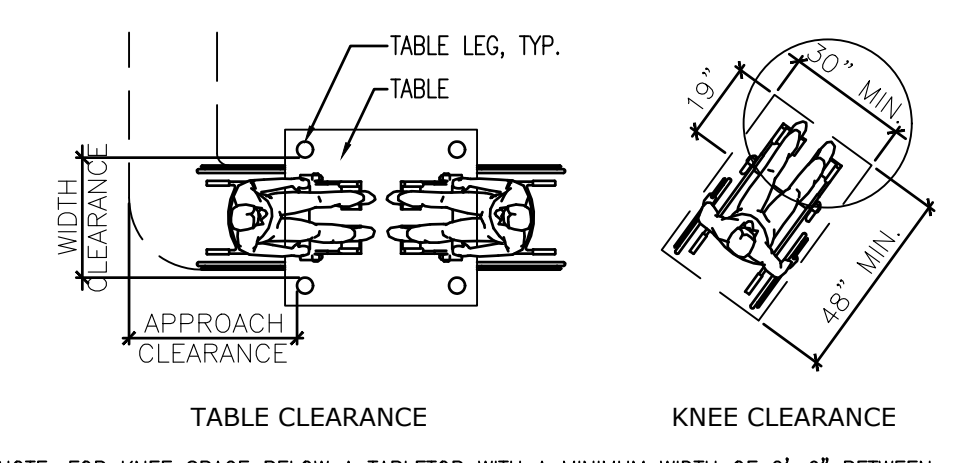
- GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BECOME FAMILIAR WITH A.N.S.I. ACCESSIBILITY STANDARDS, MINIMUM CLEARANCES AND SHALL INFORM THE ARCHITECT OF ANY AND ALL CONFLICTS WITH COMPLYING WITH THOSE MINIMUM CLEARANCES AND STANDARDS.
- A.D.A. ACCESSIBILITY STANDARDS AND MINIMUM CLEARANCES ARE INCLUSIVE OF, BUT NOT LIMITED TO, FIGURES SHOWN ABOVE. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL REFER TO APPLICABLE LITERATURE (FEDERAL REGISTER, ETC.) FOR ADDITIONAL A.N.S.I. STANDARDS.
- MEET ANSI A117.1-1986, SECTION 4.15 FOR DRINKING FOUNTAIN OR WATER COOLER; SECTION 4.32, 4.32.5.4 & 4.32.5.5 FOR WORKSURFACE & SINK.

## SPECIAL NOTES

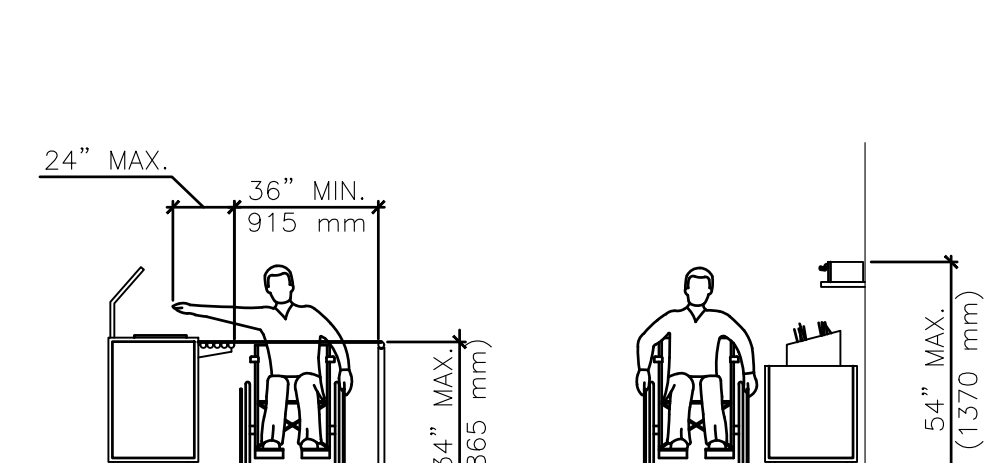
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- MEET ANSI A117.1-1986, SECTION 4.15 FOR DRINKING FOUNTAIN OR WATER COOLER; SECTION 4.32, 4.32.5.4 & 4.32.5.5 FOR WORKSURFACE & SINK.
- MAXIMUM HEIGHT FOR THE COAT ROD SHALL BE 54" A.F.F. FOR ADA COMPLIANCE.
- GC. TO ADVISE ARCHITECT IMMEDIATELY IN CASE OF ANY FIELD CONDITION THAT MAY CAUSE PROBLEMS IN ACHIEVING ADA COMPLIANCE.



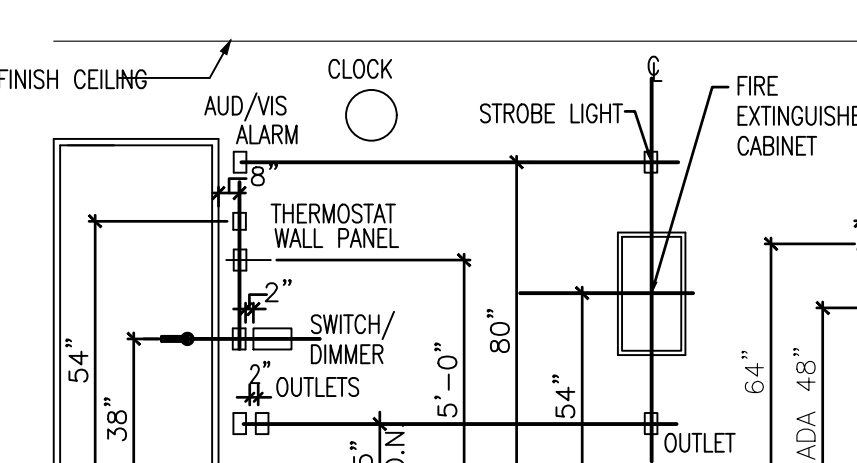
GRAB BARS AT WATER CLOSETS



SEATING AND KNEE CLEARANCE



RESTAURANTS AND CAFETERIAS



TYPICAL MOUNTING HEIGHTS

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## Project

TENANT FIT OUT  
A PERFECT BUD  
31 S CHRISTOPHER COLUMBUS BLVD  
FORMERLY KNOWN AS 31 S MISSOURI AVE  
ATLANTIC CITY, NJ

## Issue Record

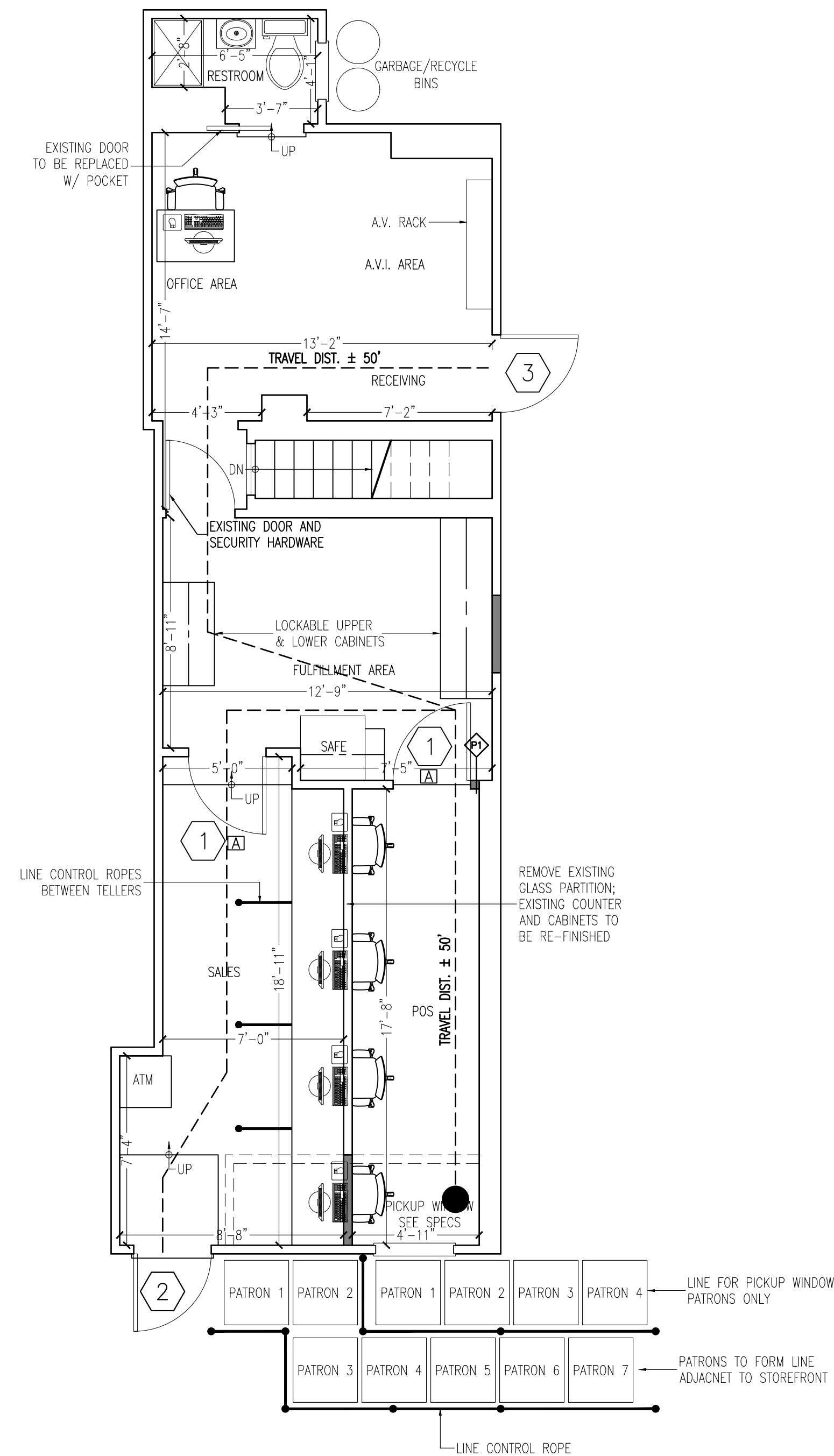
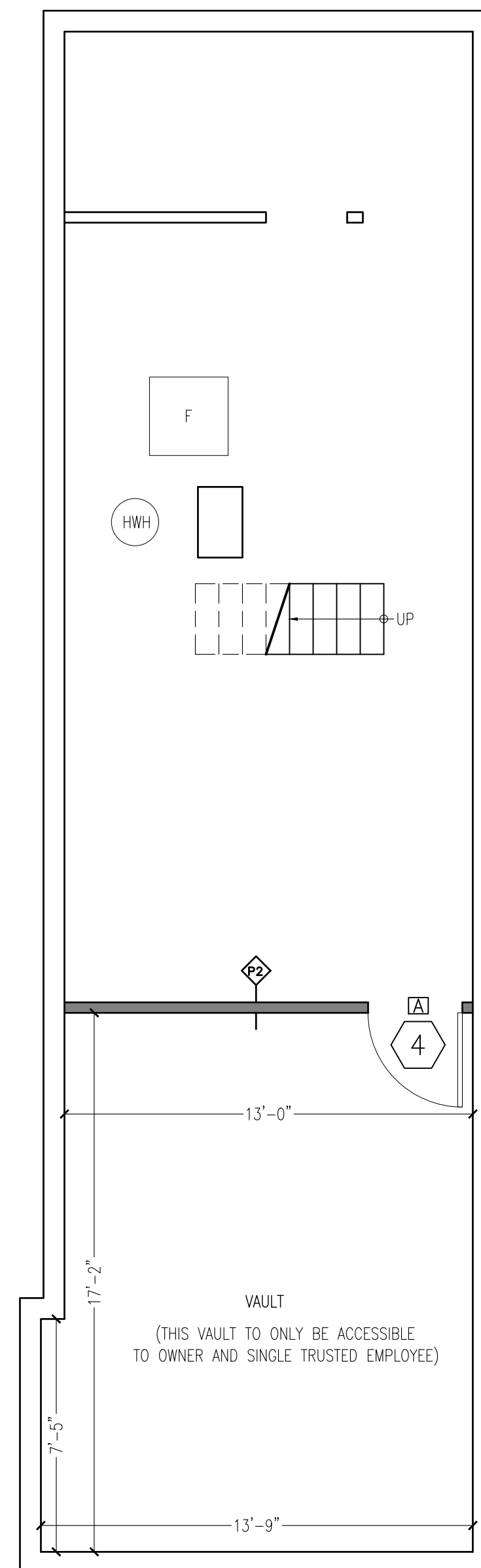
02/17/23 PRELIM 1  
03/01/23 PRELIM 2  
03/15/23 PRELIM 3  
03/28/23 FOR PERMIT  
06/13/23 FOR PERMIT R1

## Sheet Title

ADA DIAGRAMS

DATE: 02-17-23  
PRJ NO: SS-11-19  
DRAWN BY: JB





A1

SECURITY LEGEND

360

8

P

AP

CR

DC

▲

GB

PANIC

S

M

360 DEG 6MP FISHEYE

8 MP CAMERA

POS PINHOLE CAMERA

ALARM PANEL

CARD READER

DOOR CONTACT SENSOR

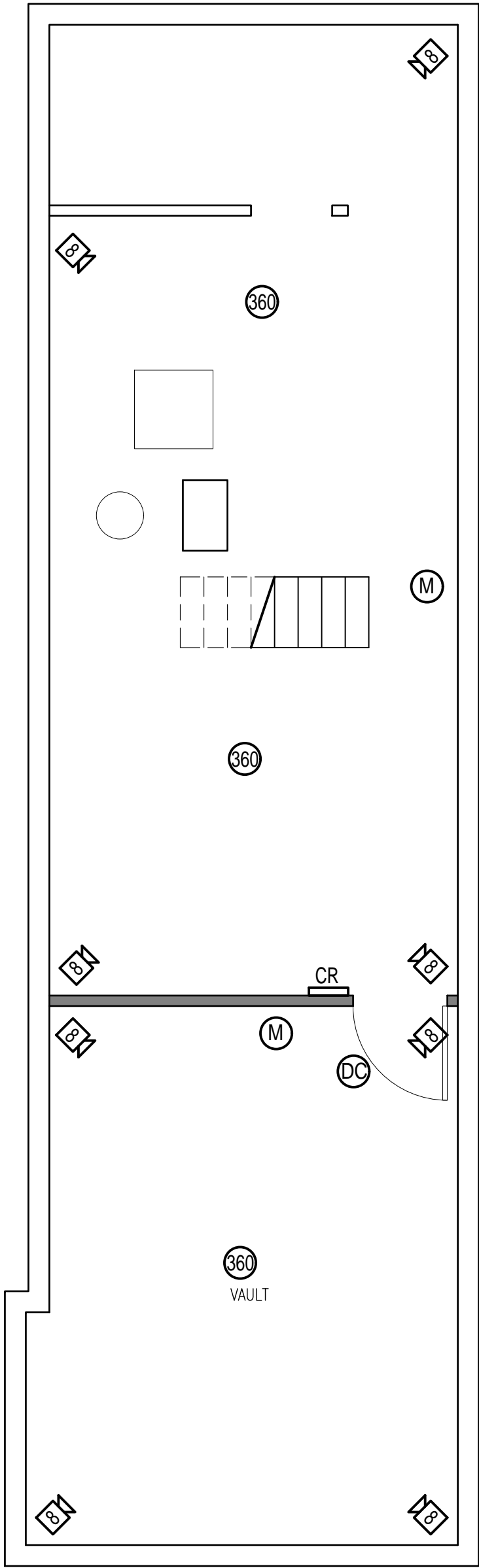
DUAL DATA JACK

GLASS BREAK DETECTOR

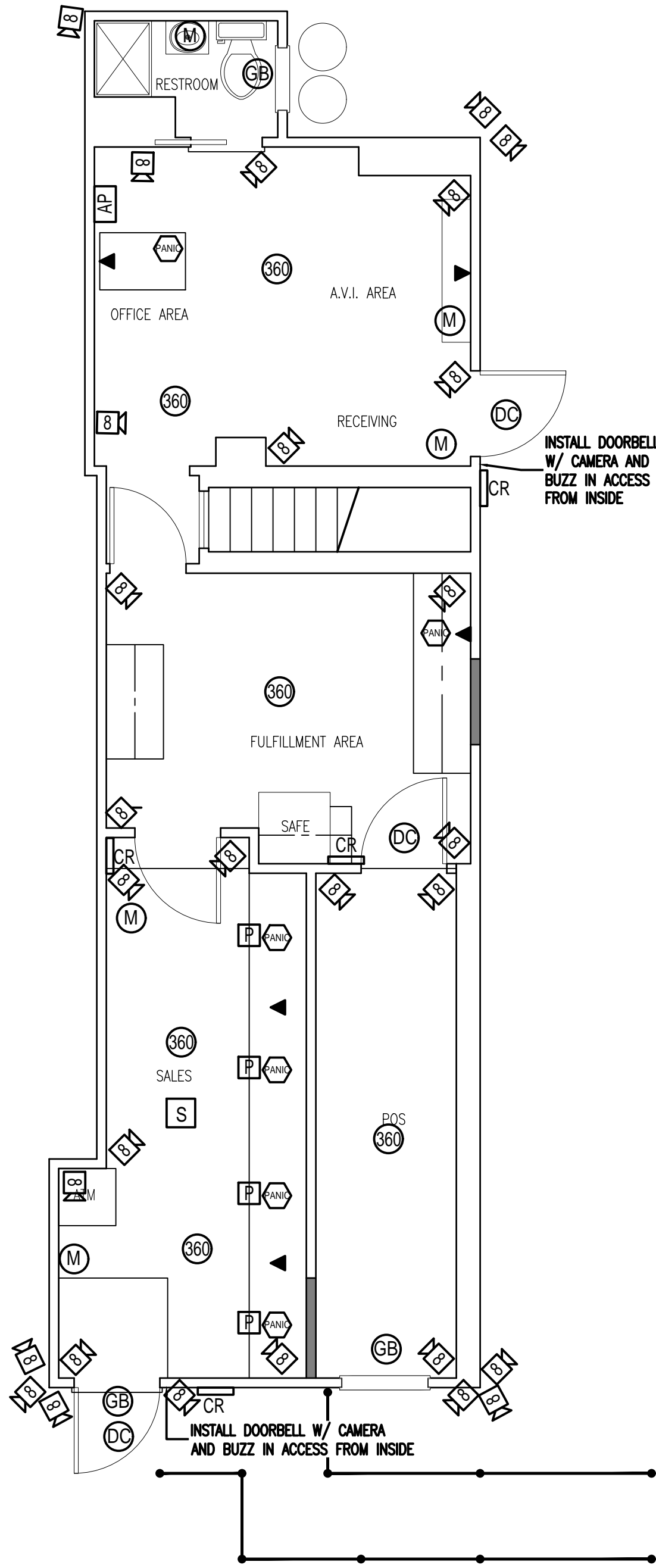
PANIC BUTTON

SPEAKER

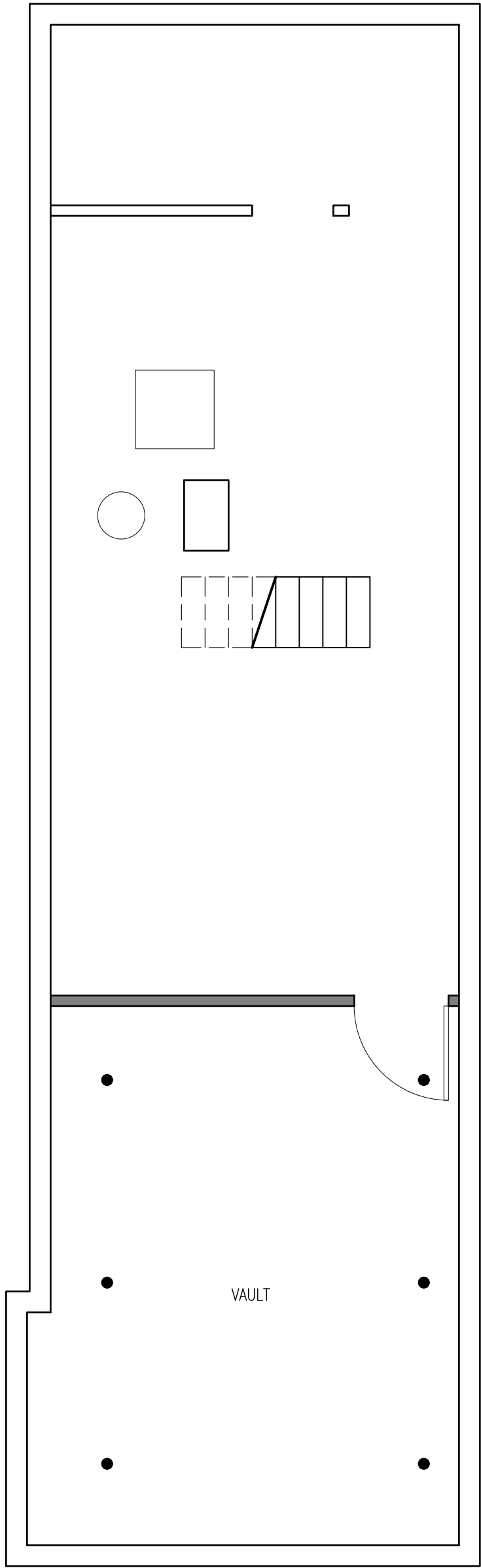
WALL MOUNTED MOTION DETECTOR



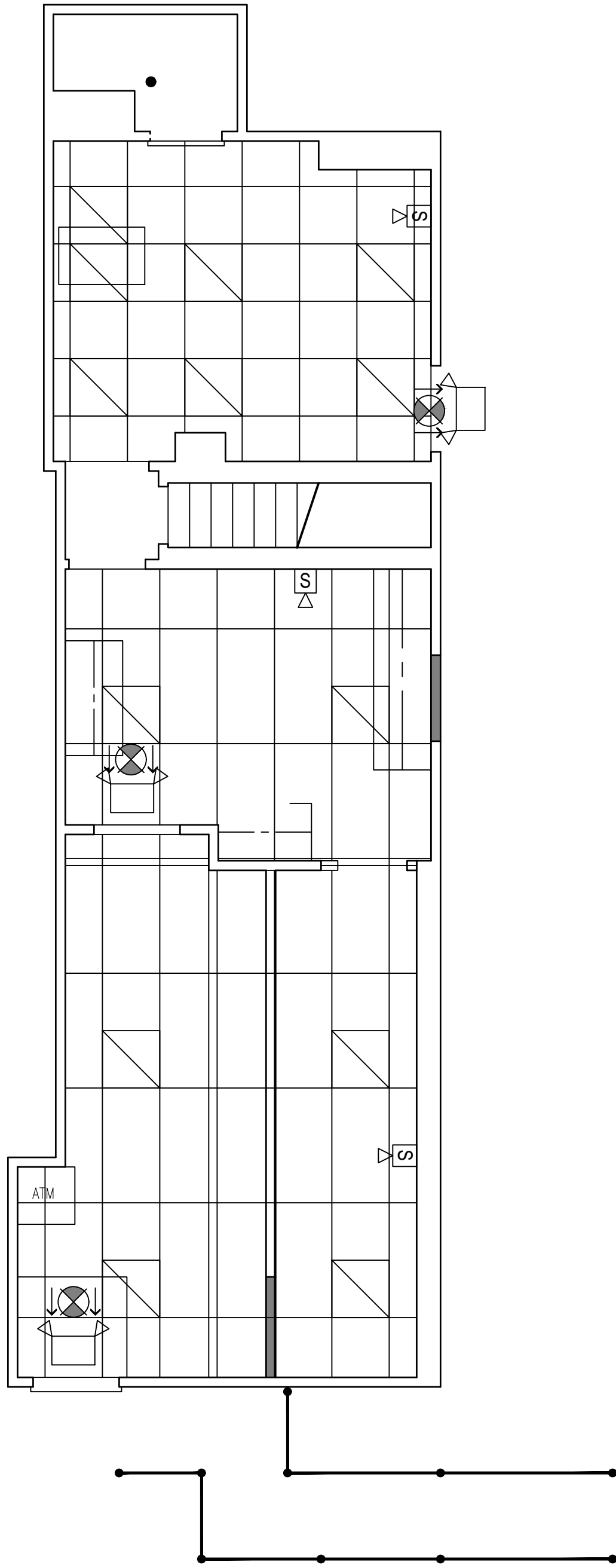
1 SECURITY FLOOR PLAN (BASEMENT)  
SCALE : 1/4"=1'-0"



2 SECURITY FLOOR PLAN (FIRST FLOOR)  
SCALE : 1/4"=1'-0"



3 REFLECTED CEILING PLAN (BASEMENT)  
SCALE : 1/4"=1'-0"



4 REFLECTED CEILING PLAN (FIRST FLOOR)  
SCALE : 1/4"=1'-0"

CEILING NOTES

1. CONTRACTOR SHALL PROVIDE ALL DUCTWORK NECESSARY FOR INSTALLING DIFFUSERS AS SHOWN ON PLAN. SYSTEM SHALL BE BALANCED.

2. CEILING HEIGHT TO BE 11'-2" AFF

CEILING LEGEND

•

CHANDELIER

◻

TRACK LIGHT

◻

LED BACKLIT PANEL

•

EXHAUST FAN

◻

EMERGENCY LIGHT

◻

HORN/STROBE

◻

EXIT SIGN WITH DIRECTIONALS AND LIGHTING

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Project

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31 S CHRISTOPHER COLUMBUS BLVD  
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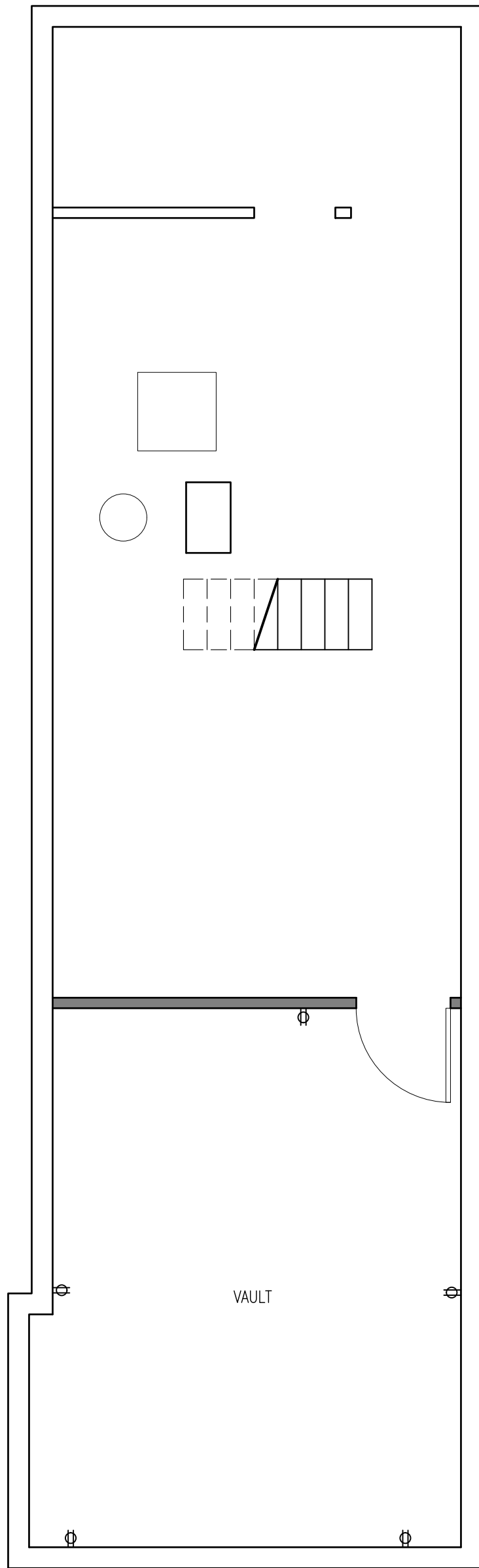
Issue Record

02/17/23 PRELIM 1  
03/01/23 PRELIM 2  
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03/28/23 FOR PERMIT  
06/13/23 FOR PERMIT R1

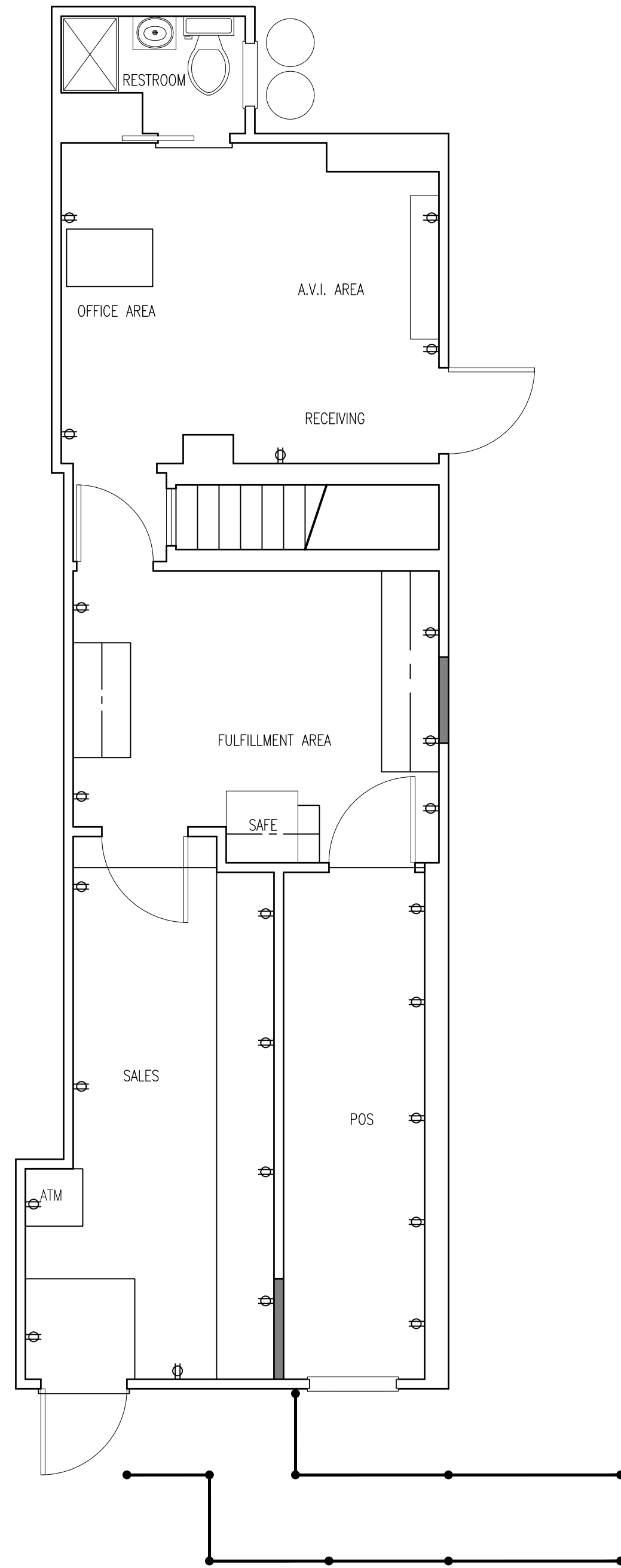
Sheet Title

REFLECTED CEILING PLAN

DATE: 02-17-23  
PRJ. NO: SS-11-19  
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1 BASEMENT PLAN  
SCALE : 1/4"=1'-0"



2 FIRST FLOOR PLAN  
SCALE : 1/4"=1'-0"

ELECTRICAL KEY

- ELECTRICAL OUTLET
- ELECTRICAL OUTLET-220 V
- INCANDESCENT LIGHT FIXTURE SINGLE BULB
- RECESSED LIGHT FIXTURE 4" LED
- RECESSED SPOT LIGHT
- EXHAUST FAN
- JUNCTION BOX LOCATION
- SMOKE DETECTOR - WALL MOUNT
- SMOKE DETECTOR - CEILING MOUNT
- TELEVISION CABLE OUTLET
- TELEPHONE JACK
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- LOW VOLTAGE PUSH BUTTON SWITCH
- DOOR CHIMES LOCATION
- DOORBELL RINGING TRANSFORMER
- TRACK LIGHT (FIXTURE COUNT AS SHOWN)
- CEILING FAN
- OUTSIDE LIGHTS SENSOR

JEFFREY G. BELL  
RA LIC # 19745

Project Team

ARCHITECT  
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Project

TENANT FIT OUT  
A PERFECT BUD  
31 S CHRISTOPHER COLUMBUS BLVD  
FORMERLY KNOWN AS 31 S MISSOURI AVE  
ATLANTIC CITY, NJ

Issue Record

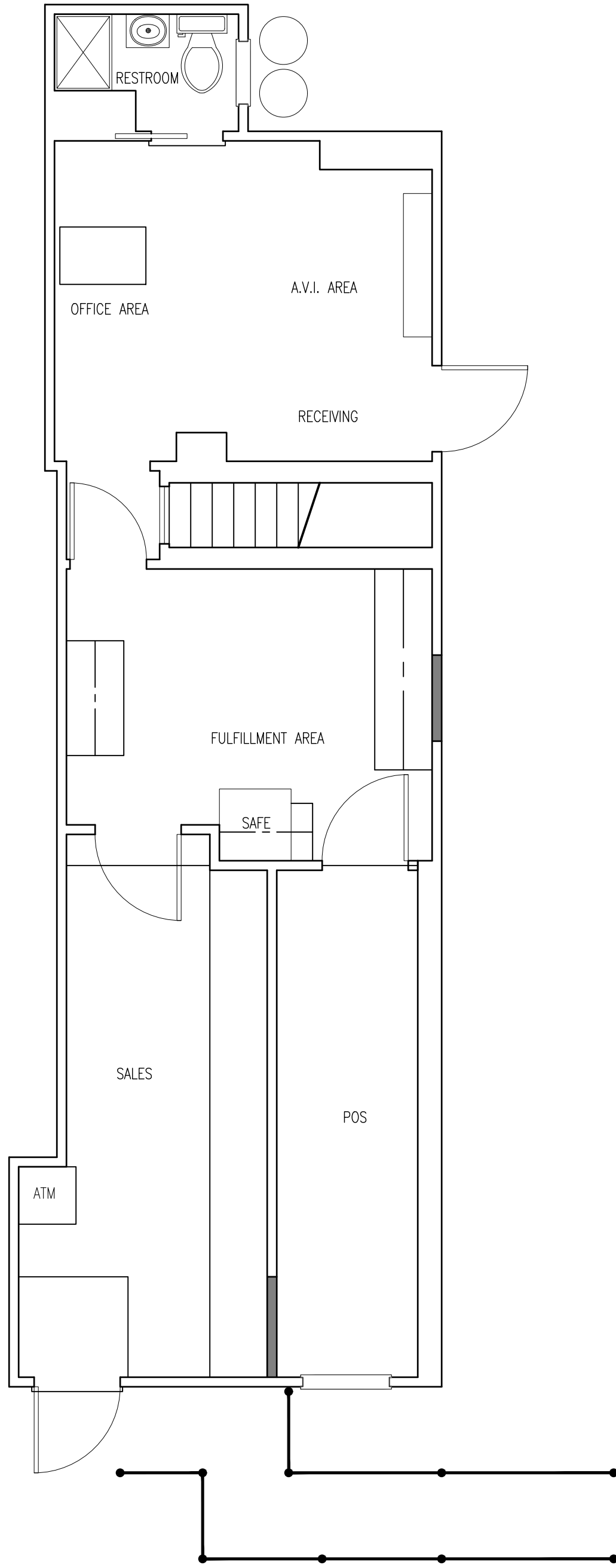
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ELECTRICAL PLAN

DATE: 02-17-23  
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DRAWN BY: JB

A3



1 FINISH FLOOR PLAN  
SCALE : 1/4"=1'-0"

### FINISH LEGEND

- VT-1  
EXISTING VINYL TILE 4"x48" PLANK W/ 2"  
COVE BASE
- TILE - RESTROOMS - 12x24 GLAZED  
PORCELAIN TILE
- CHANGE IN FLOOR MATERIAL

### FINISH NOTES

- ALL INTERIOR WALLS AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE ASTM-84
- ALL WALLS TO BE PAINTED IN A EGGSHELL FINISH UNLESS NOTED OTHERWISE.
- CARPET SHALL BE 26 OZ. UNLESS NOTED OTHERWISE.
- CROWN MOLDING, CHAIR RAILS AND WOOD BASE SHALL BE INSTALLED IN RECEPTION AREA AND OFFICE.

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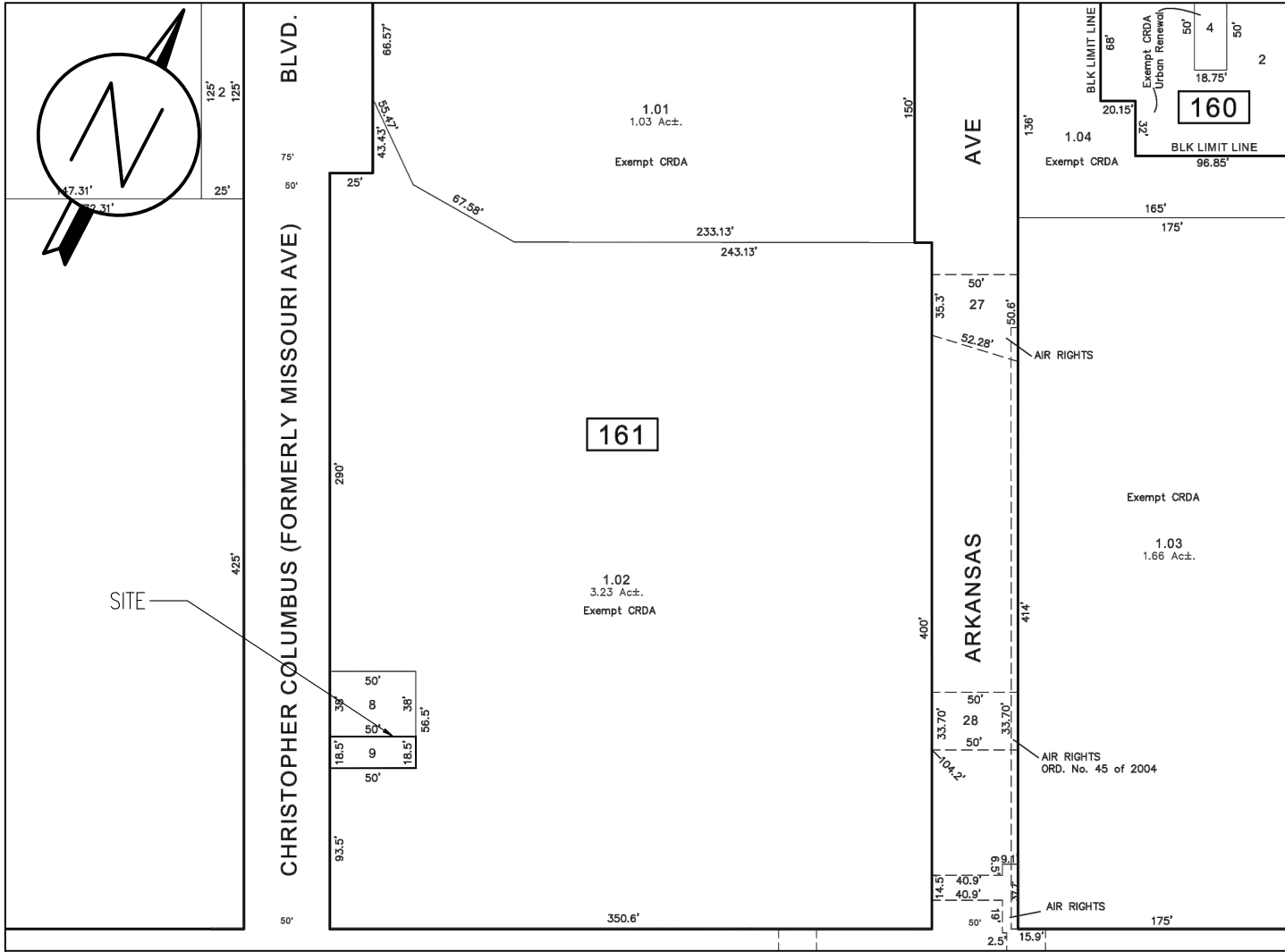
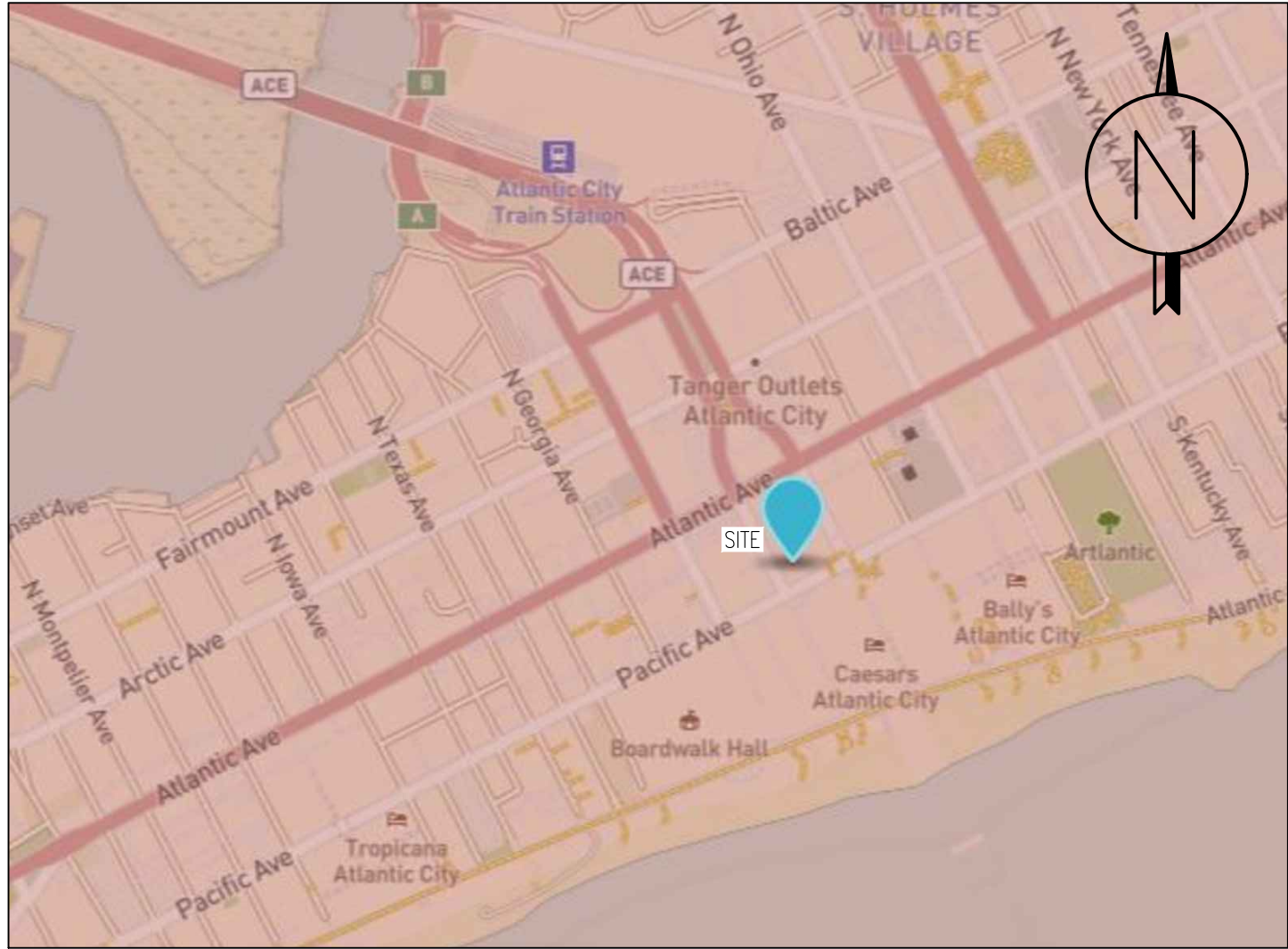
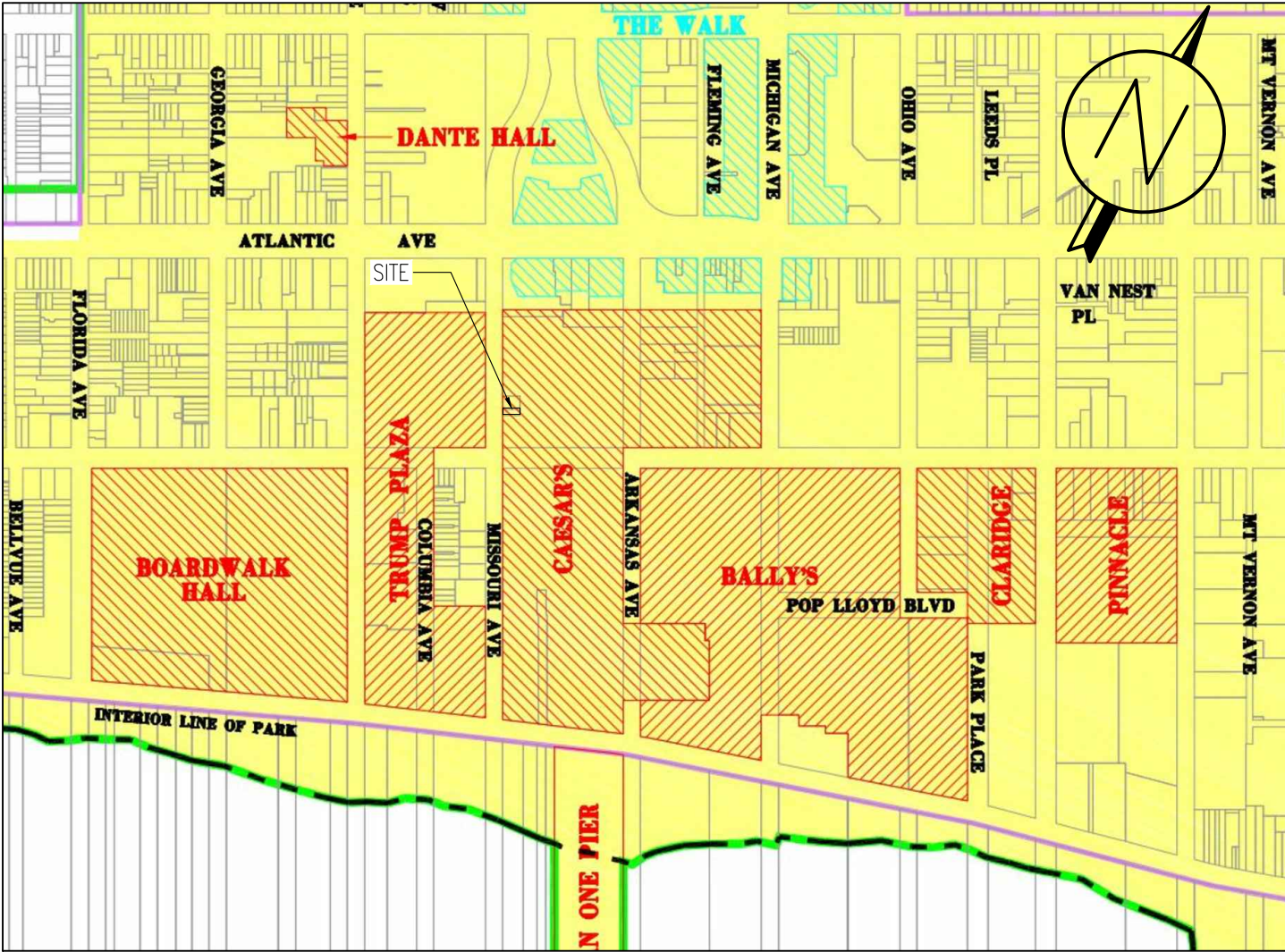
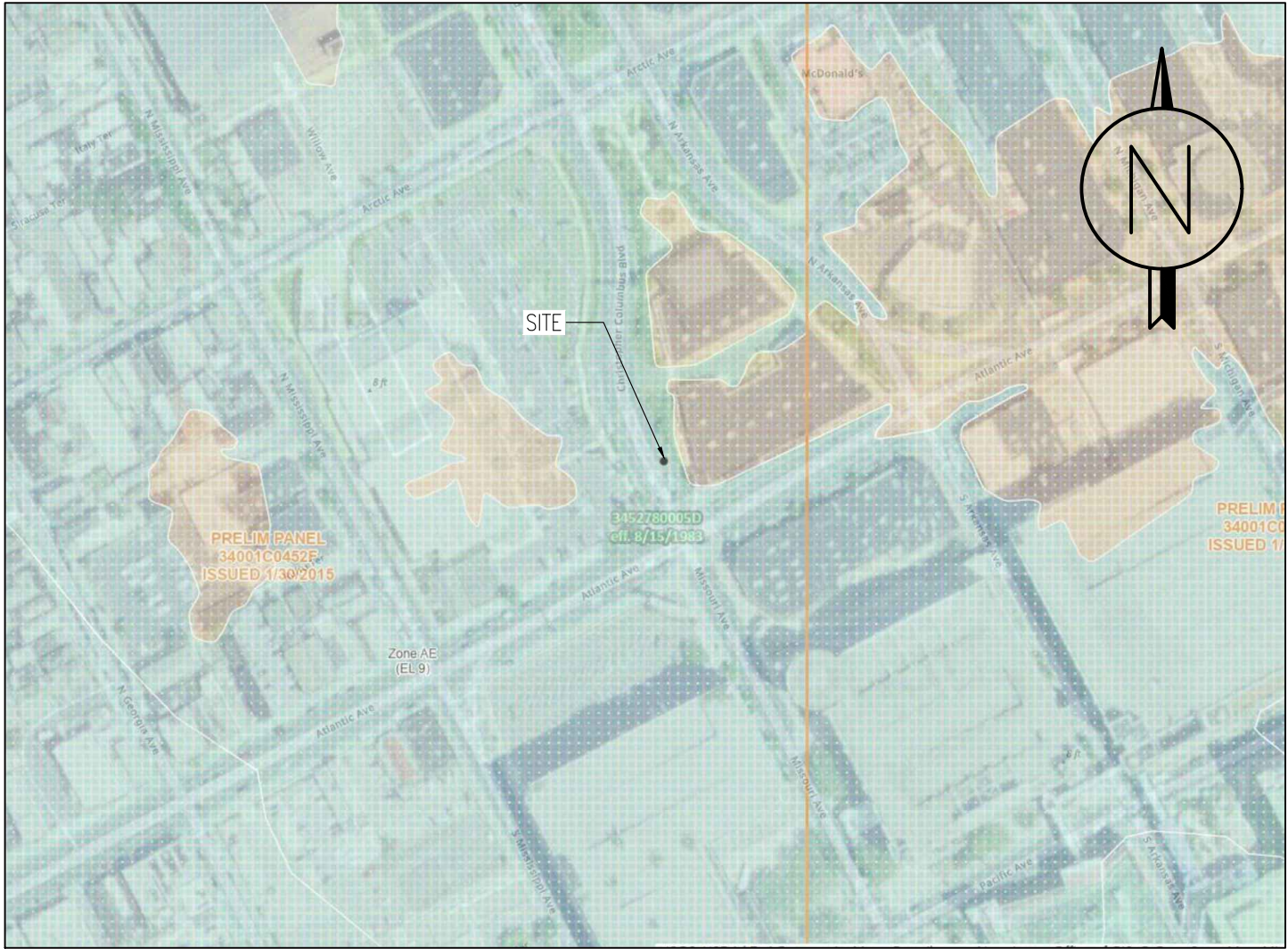
#### Sheet Title

FINISH PLAN

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A4

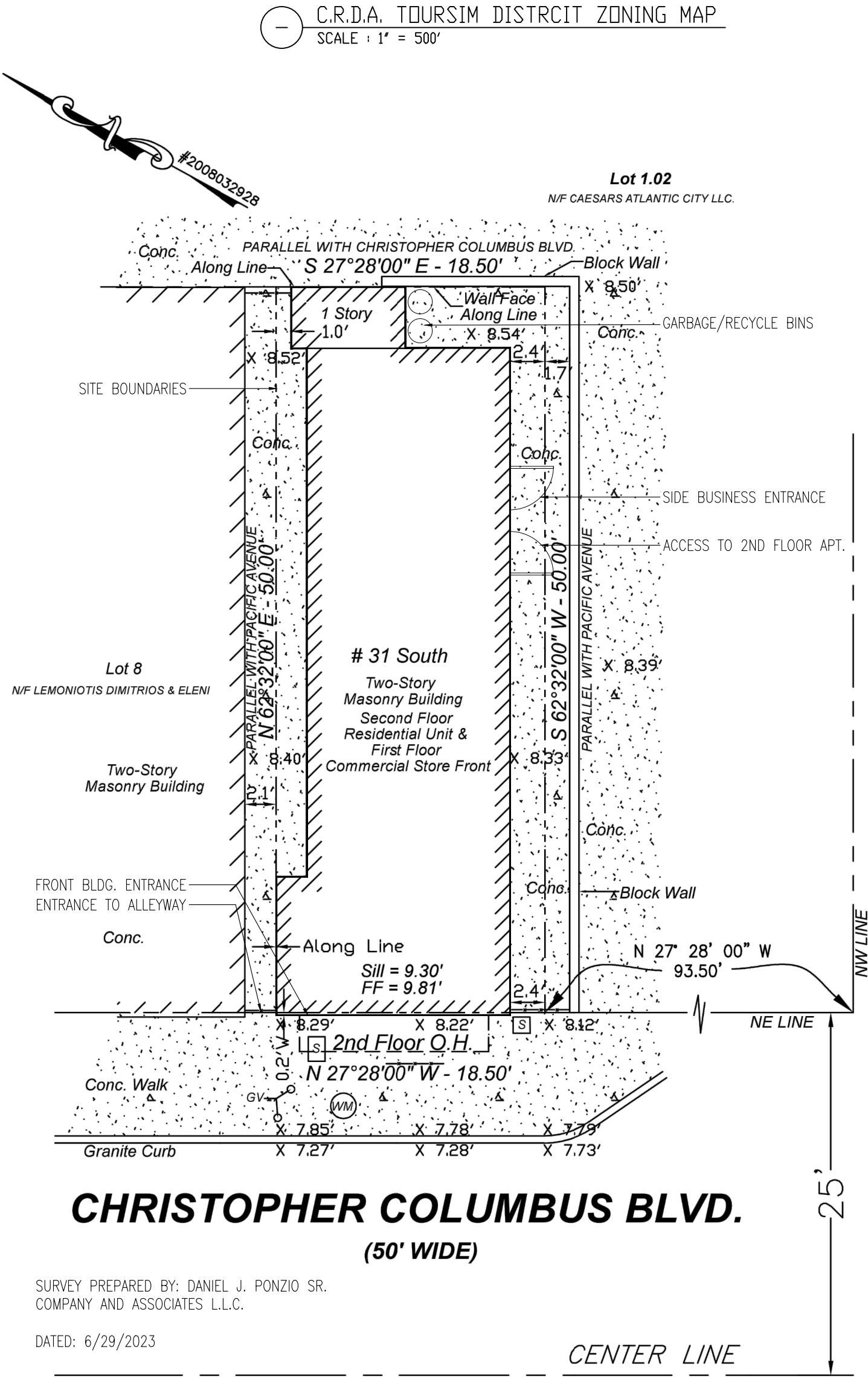




ZONING SCHEDULE

CRDA TOURISM DISTRICT LAND DEVELOPMENT RULES SECTION		RC ZONE RESORT COMMERCIAL		PERMITTED OR REQUIRED	EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
19:66-5.10(c)1.i		USE		RETAIL CANNABIS	GROUND FLOOR RETAIL (JEWELRY STORE), RESIDENTIAL UNIT ABOVE	GROUND FLOOR RETAIL CANNABIS, RESIDENTIAL UNIT ABOVE	C
A.C. GREEN ZONE REDEVELOPMENT PLAN 5.1.1							
19:66-5.10(c) 1.iv	(1)	MAXIMUM HEIGHT	PRINCIPAL BUILDING	300 FT ABOVE BFE	< 300 FT	< 35 FT	C
	ACCESSORY STRUCTURE		35 FT ABOVE BFE	N/A	N/A	N/A	
	(2)	MINIMUM LOT AREA		7,500 SF	925 SF	925 SF	ENC
	(3)	MINIMUM LOT DEPTH		150 FT	150 FT	150 FT	C
	(4)	MINIMUM LOT WIDTH		50 FT	18.5 FT	18.5 FT	ENC
	(5)	MINIMUM LOT FRONTAGE		50 FT	18.5 FT	18.5 FT	ENC
	(6)	MAXIMUM BUILDING COVERAGE		70%	95%	95%	ENC
	(7)	MAXIMUM IMPERVIOUS COVERAGE		80%	100%	100%	ENC
	(8)	MINIMUM FRONT YARD		0 FT UP TO 35 FT IN HEIGHT	0 FT	0 FT	C
	20 FT GREATER THAN 35 FT IN HEIGHT			NA	NA	NA	
	(9)	MINIMUM SIDE YARD		0 FT UP TO 35 FT IN HEIGHT	0 & 2.4 FT	0 & 2.4 FT	C
	20 FT GREATER THAN 35 FT IN HEIGHT			NA	NA	NA	
	(10)	MINIMUM REAR YARD		20 FT	0 FT	0 FT	ENC
(11)	FLOOR AREA RATIO		N/A	NA	NA	NA	
(12)	OPEN SPACE		N/A	NA	NA	NA	
(13)	MAXIMUM DENSITY	MID-RISE (2-10 FLOORS)	50 DU/AC	50 DU/ACRE (1 UNIT)	50 DU/ACRE (1 UNIT)	C	
		HIGH RISE (10+ FLOORS)	75 DU/AC	NA	NA	NA	
19:66-5.8 (b)		MINIMUM ONSITE PARKING (SEE NOTE #1)		1 SPACE/300 SF RETAIL 1 SPACE/RESIDENTIAL UNIT	0 SPACES	0 SPACES	ENC
19:66-5.8 (c)		LOADING		0	0	0	C
19:66-5.7(i)	3i	NUMBER OF WALL SIGNS		2	1	1	C
	3ii	NUMBER OF AWNINGS, CANOPIES OR MARQUEE SIGNS		1	0	0	N/A
	3iii	NUMBER OF PROJECTING SIGNS		1	1	1	C
	3iv	NUMBER OF WINDOW SIGNS		1	0	0	N/A
	3v	NUMBER OF BILLBOARD SIGNS		1	N/A	N/A	N/A
	4i	TOTAL AREA OF ALL SIGNS		25% OF WALL SURFACE PER ELEVATION (250 SF)	< 25%	40.5 SF, < 25% WALL SURFACE	C
	4ii	TOTAL AREA OF ELECTRONIC BILLBOARD SIGN		650 SF	N/A	N/A	N/A
	5i	MAX. AWNING, CANOPY OR MARQUEE SIGN HEIGHT		20 FT	N/A	N/A	N/A
	5ii	MAX. PROJECTING SIGN HEIGHT		20 FT	< 20 FT	10.67 FT	C
	5iii	MAX. GROUND HEIGHT		5 FT	N/A	N/A	N/A
	5iv	MAX. POLE SIGN HEIGHT		20 FT	N/A	N/A	N/A
	5v	MAX. WALL SIGN HEIGHT		ROOFLINE	< ROOFLINE	10.67 FT, 1ST FLOOR	C
5vi	MAX. ELECTRONIC BILLBOARD SIGN HEIGHT		40 FT	N/A	N/A	N/A	
	6ii	MIN. GROUND, POLE, AND ELECTRONIC BILLBOARD SETBACK		5 FT	N/A	N/A	N/A
A.C. GREEN ZONE REDEVELOPMENT PLAN 5.1.2.c.		MIN. DISTANCE TO BOARDWALK		200 FT	< 200 FT	< 200 FT	C
A.C. GREEN ZONE REDEVELOPMENT PLAN 5.1.2.d.7.q		MAX. SIGNS PER SITE		2	2	2	C

C = CONFORMS  
DNC = DOES NOT CONFORM  
ENC = EXISTING NON-CONFORMING  
NOTE #1: NO CHANGE OF REQUIRED PARKING DEMAND FROM RETAIL USE TO RETAIL USE, WITH 1 RESIDENTIAL UNIT ABOVE TO REMAIN (EXISTING SHORTFALL OF 3.3 SPACES TOTAL).



**OWNER**  
CHRISTOPHE REAL ESTATE LLC  
700 AMSTERDAM AVENUE  
TOMS RIVER NJ 08757

**APPLICANT**  
A PERFECT BUD LLC  
700 AMSTERDAM AVENUE  
TOMS RIVER NJ 08757

**APPLICANT INTENT**  
THE APPLICANT INTENDS TO REPURPOSE THE EXISTING JEWELRY STORE TO BECOME A CLASS 5 CANNABIS RETAIL FACILITY.

ATLANTIC CITY CERTIFIED OWNER'S LIST WITHIN 200'

BLOCK	LOT	QUAL	Location	Owner
40	1		2200 PACIFIC AVE	R & R ASSOCIATES C/O M TEPLITZ
40	32		2204 PACIFIC AVE	TRUMP PLAZA ASSOCIATES
41	1		2101 BOARDWALK	CAESARS ATLANTIC CITY LLC
161	1.02		2101 PACIFIC AVE	CAESARS ATLANTIC CITY LLC
161	8		27 S CHRISTOPHER COLUMBUS	LEMONIOTIS, DIMITRIOS & ELENI
161	9		31 S CHRISTOPHER COLUMBUS	PLASKOVITSKY, LEV
162	3		2201 PACIFIC AVE	TRUMP PLAZA ASSOCIATES

UTILITIES

**ATLANTIC CITY MUNICIPAL UTILITIES AUTHORITY**  
Attn: India Still  
P.O. Box 117  
401 N. Virginia Avenue  
Atlantic City, New Jersey 08404-0117  
Istill@aemua.org

**ATLANTIC CITY SEWERAGE COMPANY**  
Attn: Dan Kwapinski -- (609) 345-0131  
1200 Atlantic Avenue  
Suite 300  
Atlantic City, New Jersey 08401  
dkwapinski@acsewerage.com

**ATLANTIC COUNTY UTILITIES AUTHORITY**  
Attn: Rick Dovey  
P.O. Box 996  
Pleasantville, New Jersey 08232-0996  
(609) 272-6950  
rdovey@acua.com

**ATLANTIC CITY ELECTRIC**  
Attn: Mr. Gregory Brubaker, PE (Senior Manager of Strategic Planning)  
2542 Fire Road  
Egg Harbor Township, New Jersey 08234

**SOUTH JERSEY GAS COMPANY**  
Atlantic Division Attn: Briana Dirkes  
111 N. Franklin Boulevard  
Pleasantville, New Jersey 08232-0996  
(609) 645-2690  
bdirkes@sindustries.com

Approved by Resolution # _____	Dated: _____
CRDA PLANNER _____	DATE _____
CRDA Engineer _____	DATE _____
CRDA LAND USE REGULATION ENFORCEMENT OFFICER _____	DATE _____
CRDA HEARING OFFICER _____	DATE _____

NOTES:  
1. EXISTING LOT BOUNDARY INFORMATION TAKEN FROM "TAX PARCELS" ATLANTIC COUNTY PROPERTY BOUNDARIES.  
2. EXISTING CURB, DRIVEWAY, AND ADJACENT LOT LOCATIONS TRACED FROM GIS NEW JERSEY AERIAL IMAGERY PANEL PUBLISHED 2020.  
3. NO SCHOOLS ARE WITHIN 200 FEET OF SUBJECT SITE.  
4. NO OTHER CANNABIS FACILITIES ARE WITHIN 20 FT OF SITE.  
5. THESE PLANS ARE FOR CONSTRUCTION UNTIL "ISSUED" FOR CONSTRUCTION" APPEARS IN THE TITLEBLOCK.

JEFFREY G. BELL  
RA LIC # 19745

Project Team

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SITE PLAN

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