GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) AND ALL APPLICABLE MODEL BUILDING SUBCODES, INCLUDING BUT NOT LIMITED TO:

NEW JERSEY INTERNATIONAL BUILDING CODE, 2018 ICC/ANSI 117.1, 2009 ACCESSIBLE AND USABLE BUILDING AND FACILITIES INTERNATIONAL MECHANICAL CODE, 2018

NATIONAL ELECTRICAL CODE, 2017 NATIONAL STANDARD PLUMBING CODE, 2018

ALL WORK SHALL BE PERFORMED DURING NORMAL WORK HOURS, AS SET FORTH IN THE MUNICIPAL ORDINANCE WHICH HOLDS JURISDICTION OVER THE AREA OF WORK, UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THESE CONTRACT DOCUMENTS, SPECIFICATIONS, OR OTHER WRITTEN AGREEMENTS BETWEEN OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK-SITE AND PROTECT ALL BUILDING MATERIALS FROM THE ELEMENTS AND FROM ON-GOING CONSTRUCTION WORK AS NECESSARY TO MAINTAIN THE MATERIAL INTEGRITY.

THE AREA OF WORK SHALL BE SEPARATED FROM ALL OTHER OCCUPIED AREAS BY MINIMUM 6 MIL POLY ETHYLENE DUST CURTAIN. WHERE AREAS OF WORK ARE ADJACENT TO PUBLIC AREAS TO BE OCCUPIED AND CONSTRUCTION PARTITIONS ARE NOT SPECIFIED IN OTHER AREAS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, THE AREA OF WORK SHALL BE SEPARATED BY A UL DESIGN U465 ONE HOUR CONSTRUCTION PARTITION FROM FLOOR TO CEILING ABOVE THE MIN. 5/8" G.W.B. EACH SIDE OF 3-5/8" METAL STUD FRAMING AT 16" O.C. AND 3" S.A.F.B. IN THE STUD CAVITY. ALL CONSTRUCTION PARTITION REQUIREMENTS SHALL COMPLY WITH NJAC 5:23-9.6(C) IN ALL CASES.

WHEN NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION OVER THE PROJECT AREA AND ICC/ANSI 117.1, 2009

ALL LANDSCAPING SHALL BE INSTALLED AT SUCH TIME SO AS TO BE IN HEALTHY CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION. ANY LANDSCAPE MATERIALS NOT IN SUCH CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, GROWING SEASON, AND CONSTRUCTION SCHEDULE IN SCHEDULING INSTALLATIONS AFTER SUBSTANTIAL COMPLETION.

ALL BEARING SOIL SHALL BE UNDISTURBED OR 100% COMPACTED SOIL TO ACCOMMODATE THE INSTALLATION OF FOOTINGS, FOUNDATION WALLS, PILINGS, ETC. WHEN NOT INDICATED OTHERWISE IN THESE CONTRACT DOCUMENTS AND SPECIFICATIONS VIA SOIL REPORT, BEARING CAPACITY OF THE SOIL IN THE AREA OF WORK SHALL BE CONSIDERED TO BE 3,000 PSI WITHOUT DETRIMENTAL SETTLEMENT. IN SUCH CASES, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TESTING TO VERIFY THIS CONDITION PRIOR TO COMMENCEMENT OF WORK.

FOOTINGS SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE, UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

IN PERFORMING ANY EARTHWORK, ALL EXCAVATED AREAS SHALL BE PROVIDED WITH TEMPORARY SUPPORTS AND/OR SHARING TO PREVENT ANY COLLAPSE. EXCAVATED SOILS, FILL, ETC. SHALL BE STORED SO AS NOT TO EXCEED THE ANGLE OF REPOSE FOR EACH TYPE. ALL BEARING SOIL, WHEN EXCAVATED AND STORED SHALL BE PROPERLY PROTECTED FROM THE ELEMENTS UNTIL BACKFILLING.

BACKFILLING SHALL BE PERFORMED IN MAX. 6" LIFTS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS, EACH LIFT SHALL BE TAMPED PRIOR TO CONTINUING WORK.

ALL MISCELLANEOUS WOOD SHALL BE MIN. NO. 1 OR BETTER DOUGLASS FIR. WOOD NAILERS, BLOCKING, ETC. IN FOUNDATION CONSTRUCTION SHALL BE TREATED TO RESIST DECAY.

ALL CRAWL SPACES AND SLAB ON-GRAD CONDITIONS SHALL BE PROVIDED WITH 6 MIL. POLYETHYLENE VAPOR BARRIER FOR THE ENTIRE FOOTPRINT AND MIN. 24" WIDE 2" RIGID INSULATION AT THE ENTIRE PERIMETER OF THE BUILDING FOOTPRINT.

ALL CONCRETE TO BE PROVIDED SHALL BE MIN. 4,000 PSI IN 28 DAYS UNLESS INDICATED OTHERWISE IN THESE DOCUMENTS.

ALL CONCRETE MASONRY UNITS WHEN LOAD-BEARING SHALL CONFORM TO ASTM C34-84. IN NON-LOAD-BEARING APPLICATIONS MASONRY UNITS SHALL COMPLY WITH C56-81.

ALL DOORS AND WINDOWS AT EXTERIOR WALLS SHALL BE PROVIDED WITH ALUM. SILL FLASHING UNDER THE ENTIRE WIDTH OF THE OPENING. AT WINDOW AREAS, FLASHING SHALL HAVE UPTURNED EDGES WITH SOLDERED CORNERS AND PITCH TO THE EXTERIOR. ALL WINDOWS AND DOORS SHALL BE PROVIDED WITH SHIM SPACES AT THE PERIMETER TO ENSURE A PLUMB AND TRUE INSTALLATION.

ALL GLAZING IN HAZARDOUS AREAS AS DEFINED IN 2406.2 SHALL BE TEMPERED GLAZED SAFETY GLASS AND SHALL BE IMPACT-RESISTANT GLAZED OPENINGS.

ALL GYPSUM WALL BOARD TO BE 5/8" FIRECODE 'C' UNLESS INDICATED OTHERWISE IN THE DOCUMENTS.

ALL BATHROOM AND KITCHEN AREAS SHALL BE PROVIDED WITH WATER-RESISTANT G.W.B., TYPICAL. ALL TILE AREAS SHALL BE PROVIDED WITH CEMENTITIOUS BOARD BACK-UP UNLESS INDICATED OTHERWISE.

IN ALL PAINTED WALL AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4 FINISH.

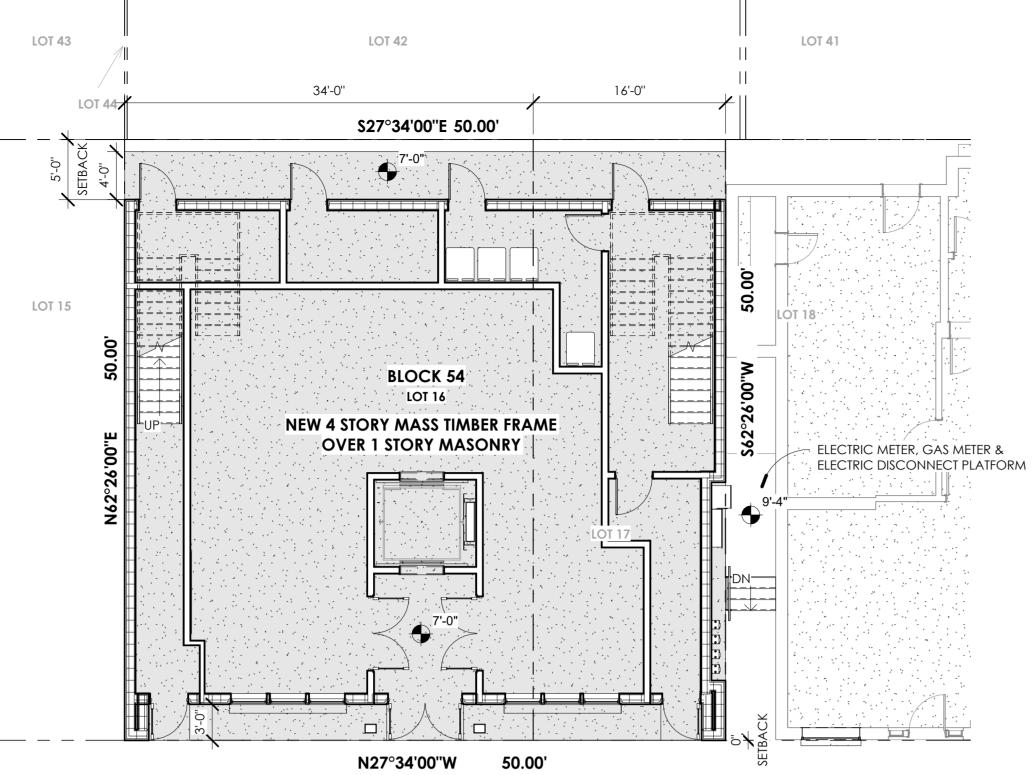
IN ALL WALL-COVERED AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4. FINISH.

SHOP DRAWINGS SHALL BE REQUIRED FOR ALL MILLWORK.

ALL THRESHOLDS AND OTHER FLOORING TRANSITIONS SHALL COMPLY WITH THE FLOOR LEVEL CHANGES CONSTITUTED IN ICC/ANSI 117.1, 2009.

ALL SPECIALTIES, ACCESSORIES, OR OTHER WALL-MOUNTED EQUIPMENT, FIXTURES, ETC. SHALL BE PROVIDED WITH NON-COMBUSTIBLE BLOCKING IN THE WALL CAVITY FOR SUPPORT UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL ELEVATOR PITS (WHERE APPLICABLE) SHALL BE PROVIDED WITH SUMP PUMP CONNECTED TO THE BUILDING STORM WATER SYSTEM. THE PIT SHALL BE PROVIDE WITH A GALV. STEEL ACCESS LADDER MOUNTED IN AN OSHA COMPLIANT LOCATION WITH WORK LIGHT AND SWITCH ACCESSIBLE FROM THE POINT OF ENTRY, ALL ELEVATOR DOORS SHALL BE PROVIDED WITH STRUCTURAL STEEL SILL ANGLES AS REQUIRED BY THE MANUFACTURER.





ARCHITECTURE ABBREVIATIONS

AB	ANCHOR BOLT	(E)	EXISTING
ABV	ABOVE	E	EAST
A/C	AIR CONDITIONING	EA	EACH
AC	ASPHALTIC CONCRETE	EXP BT	EXPANSION BOLT
AD	AREA DRAIN	EJ	EXPANSION JOINT
ADDM	ADDENDUM	EL	ELEVATION
ADJ	ADJUSTABLE	ELEC	ELECTRIC(AL)
AESS	ARCHITECTURALLY EXPOSED	ELEV	ELEVATOR
	STRUCTURAL STEEL	EMER	EMERGENCY
AFF	ABOVE FINISHED FLOOR	ENCL	ENCLOSURE
AFG		ENGR	
AHU ALT	AIR HANDLING UNIT ALTERNATE	EP EQ	ELECTRICAL PANEL EQUAL
ALUM	ALUMINUM	EQUIP	EQUIPMENT
AMT	AMOUNT	EXIST	EXISTING
ANOD	ANODIZE(D)	EXH	EXHAUST
ARCH	ARCHITECT(URAL)	EXP	EXPANSION
AUTO	AUTOMATIC	EXT	EXTERIOR
AWT	ACOUSTIC WALL TREATMENT		
		F/	FACE OF
BC	BACK OF CURB	FA	FIRE ALARM
BD	BOARD	FB	FLAT BAR
BFF	BELOW FINISHED FLOOR	FD	
BLDG BLK	BUILDING BLOCK	FDTN FE	FOUNDATION FIRE EXTINGUISHER
BLKG	BLOCK	FEC	FIRE EXTINGUISHER CABINET
BM	BEAM OR BENCHMARK	FIN FLR	FINISH FLOOR
BOD	BOTTOM OF DECK	FIN	FINISH(ED)
BOR	BOTTOM OF REVEAL	FLASH	FLASHING
BOT	BOTTOM	FLR	FLOOR
BRG	BEARING	FLOUR	FLUORESCENT
BRK	BRICK	FM	FLOOR MAT
BSMT	BASEMENT	FOF	FACE OF FINISH
		FOC	FACE OF CONCRETE
CAB CB	CABINETRY CATCH BASIN	fom fos	FACE OF MASONRY FACE OF STUDS
CH BD	CHALKBOARD	FPRF	FIRE PROTECTION
CEM	CEMENT	FR	FIRE RESISTANT
CG	CORNER GUARD	FRAP	FIREMANS REMOTE
CH	COATHOOK		ANNUNCIATOR PANEL
CIP	CAST-IN-PLACE	FT	FOOT OR FEET
CL	CENTER LINE	FTG	FOOTING
CLG	CEILING	FURN	FURNITURE
CLR	CLEAR	•	
CLK		G	GROUND
CMU CNTR	CONCRETE MASONRY UNIT	GA GALV	GAUGE GALVANIZED
COL	COLUMN	GALV	GRAB BAR
COMP	COMPOSITE	GC	GENERAL CONTRACTOR
CONC	CONCRETE	GL	GLASS
CONT	CONTINUE/CONTINUOUS	GYP BD	GYPSUM BOARD
CORR	CORRIDOR		
COV PL	COVER PLATE	HB	HOSE BIB
CPT	CARPET	HDR	HEADER
CT	CERAMIC TILE	HWD	HARDWARE
CTR	CENTER	HDWD HM	HARDWOOD HOLLOW METAL
D	DEEP	HNDRL	HANDRAIL
DBL	DOUBLE	HORIZ	HORIZONTAL
DET	DETAIL	HR	HOUR
DF	DRINKING FOUNTAIN	HT	HEIGHT
DIA	DIAMETER	HTG	HEATING
DIM	DIMENSION	HTR	HEATER
DN	DOWN	HVAC	HEATING, VENTILATING &
DR	DOOR		AIR CONDITIONING
DR	DRAIN		
ds dwg	DOWNSPOUT DRAWING	ICOL ID	INTEGRAL COLOR INSIDE DIAMETER/DIMENSION
Dirig		ID IN	INCH
		INCL	INCH INCLUDE(D)

INFO

INFORMATION

PLYWD

PLYWOOD

TENNESSEE AVENUE (50' R.O.W.)

CONC. CURB

PNL

PSC

PSI

PNT

PTD

PTN

QT

RA

RB

RCP

RD

REC

REF

REFL

REINF

reqd

RESIL

REV

RFLR

RM

RND

RO

RV

SAM

SAT

SC

SCHED

SCP

SCR

SD

SF

SECT

SHD

SHT

SIM

SND

SNDU

SOG

SPEC

SQ

SST

STD

STL

STN

STOR

SURF

SUSP

SYM

SYS

TOB

TC

TEMP

TMPD

TERM

T&G

TONGUE & GROOVE

T/

SV

STRUCT

ST

Shthg

SMK CUR

ra gr

PR⁻

PRELIM

INSUL INT INV J-BOC IST JAN KO KPL LAM LAV LB LINO LT SW LVR M

INSULATION

JUNCTION BOX

JANITOR CLOSET

KNOCKOUT

KICKPLATE

LENGTH

LAMINATE

LAVATORY

LINEAR FOOT OR FEET

POUND

INTERIOR

INVERT

JOIST

JOIN

LINOLEUM LIGHT SWITCH LOUVER METER MACH MACHINE MAS MASONRY MATL MATERIAL MAX MAXIMUM MKR BD MARKER BOARD MCP METAL CEILING PANEL MECH MECHANICAL MEMB MEMBRANE MFG MANUFACTURER MH MANHOLE MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MIRR MIRROR MTD MOUNTED MTL METAL MWP METAL WALL PANEL NORTH NA NOT APPLICABLE NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE OA OUTSIDE AIR OC ON CENTER OD OUTSIDE DIAMETER/DIMENSION ODS OVERFLOW DOWNSPOUT OF/CI OWNER FURNISHED/ CONTRACTOR INSTALLED OF/OI OWNER FURNISHED/ OWNER INSTALLED OPNG OPENING OPP OPPOSITE OPT OPTIONAL ORIG ORIGINAL OTB OPEN TO BELOW OVHD OVERHEAD PVG PAVING PC PRECAST CONCRETE PCF POUNDS PER CUBIC FOOT PERF PERFORATED PROPERTY LINE ΡI PLATE ΡI PLAM PLASTIC LAMINATE PLAS PLASTER PlbG PLUMBING

PANEL PRELIMINARY **PROJECTION SCREEN** POUNDS PER CUBIC INCH POST TENSIONED PAINT PRESSURE TREATED PAPER TOWEL DISPENSER PARTITION QUARRY TILE RADIUS RISER RETURN AIR RETURN AIR GRILL RUBBER BASE REFLECTED CEILING PLAN **ROOF DRAIN** RECESSED REFERENCE REFLECTED REINFORCED REQUIRED RESILIENT REVISION RAISED FLOOR SYSTEM ROOM ROUND ROUGH OPENING ROOF VENT South Self Adhered membrane SUSPENDED ACOUSTICAL TILE SOLID CORE SCHEDULE SKIM COAT PLASTER SCREEN SOAP DISPENSER Section SQUARE FOOT OR FEET WINDOW SHADE Sheathing SHEET SIMILAR SMOKE CURTAIN SANITARY NAPKIN DISPENSER SANITARY NAPKIN DISPENSER UNIT SLAB ON GRADE SPECIFICATION SQUARE STAINLESS STEEL STREET STANDARD STEEL STAIN STORAGE STRUCTURAL SURFACE SUSPEND(ED) SHEET VINYL Symmetrical SYSTEM TOP OF TREAD TOP OF BEAM TRAFFIC COATING TEMPORARY TEMPERED GLASS TERMINATION





TOWEL HOOK THRESHOLD THROUGH TOP OF TOP OF CONCRETE OR CURB TOP OF FINISHED FLOOR top of slab τοται TOILET PARTITION TOILET PAPER DISPENSER TOPPING TOWEL RACK THERMAL RESISTANCE VALUE TOILET SEAT COVER DISPENSER TACKABLE WALL PANEL TYPICAL UNFINISHED UNLESS OTHERWISE NOTED URINAL VAPOR BARRIER VOLTAGE VAPOR RETARDER VENTILATION VERTICAL VESTIBULE VERIFY IN FIELD VENEER VENEER PLASTER VERIFY WEST WITH WATER CLOSET WOOD WOOD BASE WINDOW WIRED GLASS WHEATBOARD WITHOUT WATERPROOFING WOOD PANELING WASTE RECEPTACLE WEATHER RESISTIVE AIR BARRIER MEMBRANE WAINSCOT WEIGHT WATER WALL TO WALL WELDED WIRE FABRIC TRANSFORMER YARD

THICKNESS

OWNER:

SH NUM G A1 A1

NEW CONSTRUCTION TO: SURF LODGE BLOCK 54, LOTS 16 & 17 ATLANTIC CITY, NJ 08401

155 S TENNESSEE QOZB LLC

155 S TENNESSEE AVENUE

ATLANTIC CITY, NJ 08401 ARCHITECT: WILLIAM MCLEES ARCHITECTURE **5 MACARTHUR BOULEVARD** SOMERS POINT, NJ 08244 CONTACT: WILLIAM MCLEES, AIA 609.927.0888

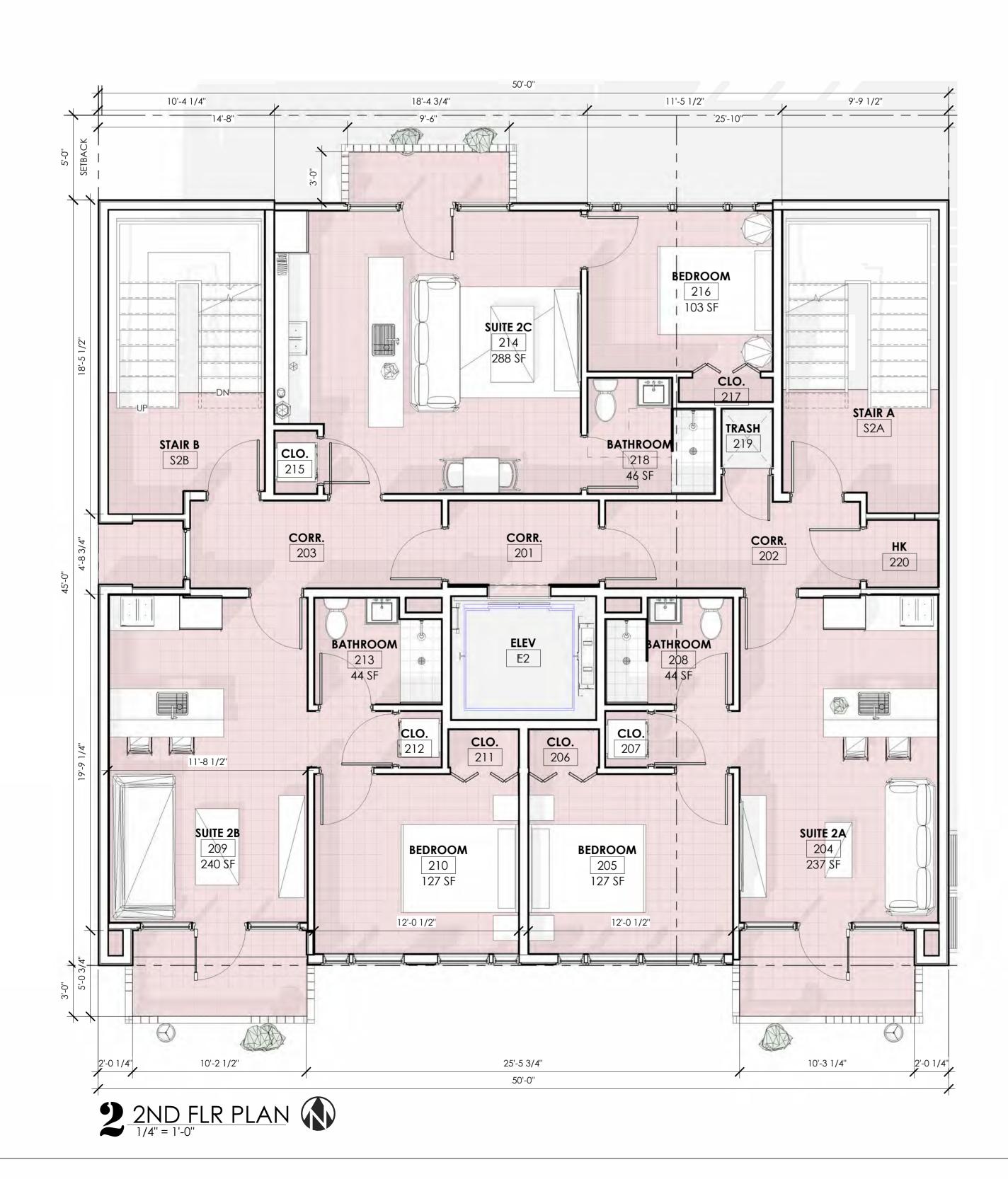
	DRAWING LIST			
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	REVISION DATE
G0.00	COVER SHEET	10.05.22		
A1.11	FLOOR PLANS - 1ST & 2ND FLOOR	10.05.22		
A1.12	FLOOR PLANS - 3RD & 4TH FLOOR	10.05.22	1	10.11.22
A1.13	FLOOR PLANS - 5TH FLOOR & ROOF	10.05.22		
A2.01	ELEVATIONS	10.05.22		
A2.02	ELEVATIONS	10.05.22		

1. ALL SPOT ELEVATIONS ARE TAKEN FROM SEA LEVLEL

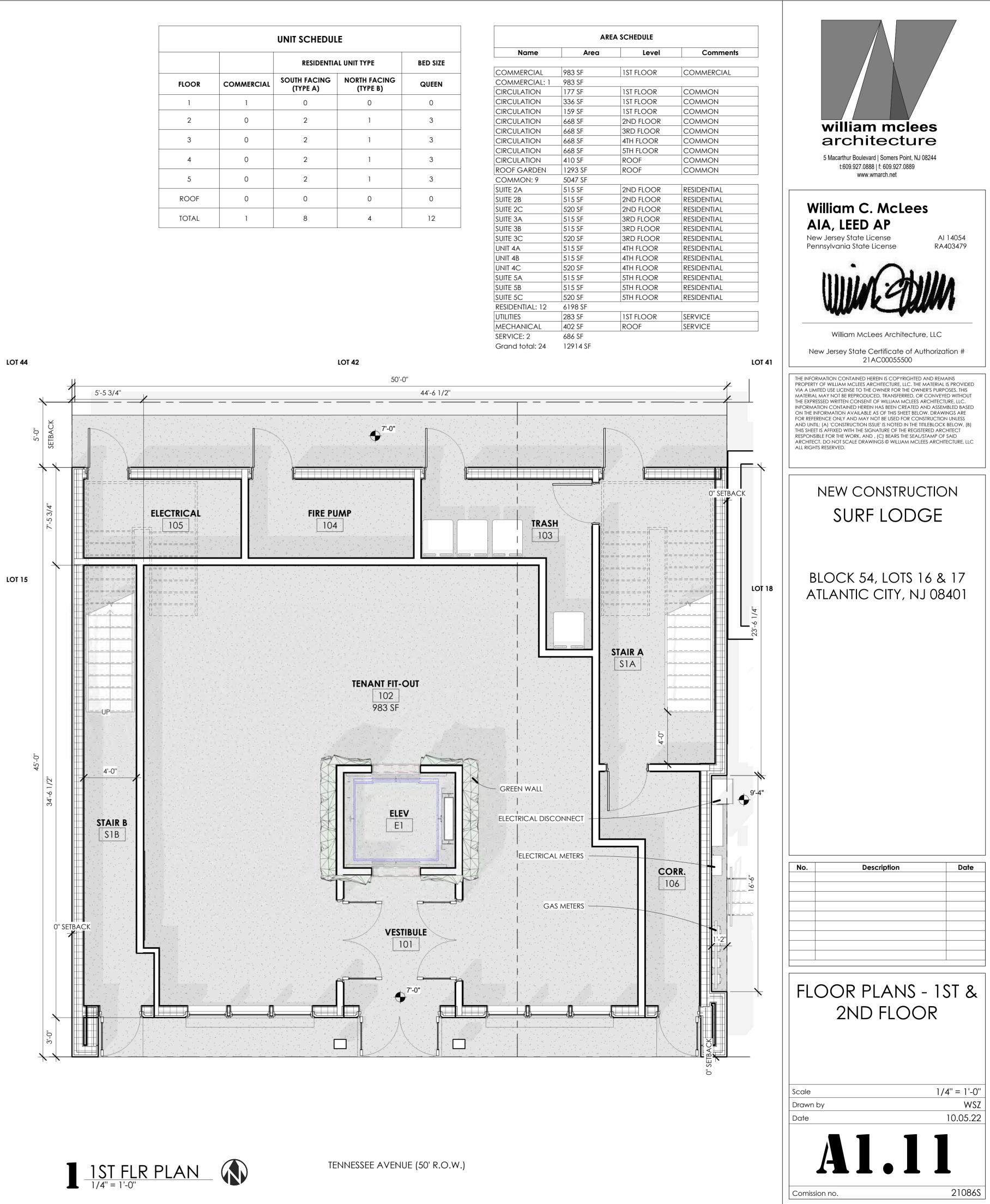
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A Ne	,	14054 103479
 N:	William McLees Architecture, LLC ew Jersey State Certificate of Authoriza 21AC00055500	1 tion #
PROPERT VIA A LIM MATERIA THE EXPR INFORM/ ON THE I FOR REFE AND UNI THIS SHEE RESPONS ARCHITE	RMATION CONTAINED HEREIN IS COPYRIGHTED AND REMA Y OF WILLIAM MCLEES ARCHITECTURE, LLC. THE MATERIAL I MITED USE LICENSE TO THE OWNER FOR THE OWNER'S PURPO L MAY NOT BE REPRODUCED, TRANSFERRED, OR CONVEYE ESSED WRITTEN CONSENT OF WILLIAM MCLEES ARCHITECTU ATION CONTAINED HEREIN HAS BEEN CREATED AND ASSEM NFORMATION AVAILABLE AS OF THIS SHEET BELOW. DRAWII SERCE ONLY AND MAY NOT BE USED FOR CONSTRUCTION FIL: (A) 'CONSTRUCTION ISSUE' IS NOTED IN THE TITILEBLOCK ET IS AFFIXED WITH THE SIGNATURE OF THE REGISTERED ARC IBLE FOR THE WORK, AND , (C) BEARS THE SEAL/STAMP OF CT. DO NOT SCALE DRAWINGS © WILLIAM MCLEES ARCHITI ITS RESERVED.	S PROVIDED SSES. THIS D WITHOUT JRE, LLC. BLED BASED NGS ARE I UNLESS BELOW, (B) HITECT SAID
	new constructio SURF LODGE	N
	BLOCK 54, LOTS 16 & TLANTIC CITY, NJ 08	
No.	Description	Date
	COVER SHEET	
Scale	As in	dicated
Drawn Date	· · · · · · · · · · · · · · · · · · ·	WSZ 10.05.22
	GO. 00	

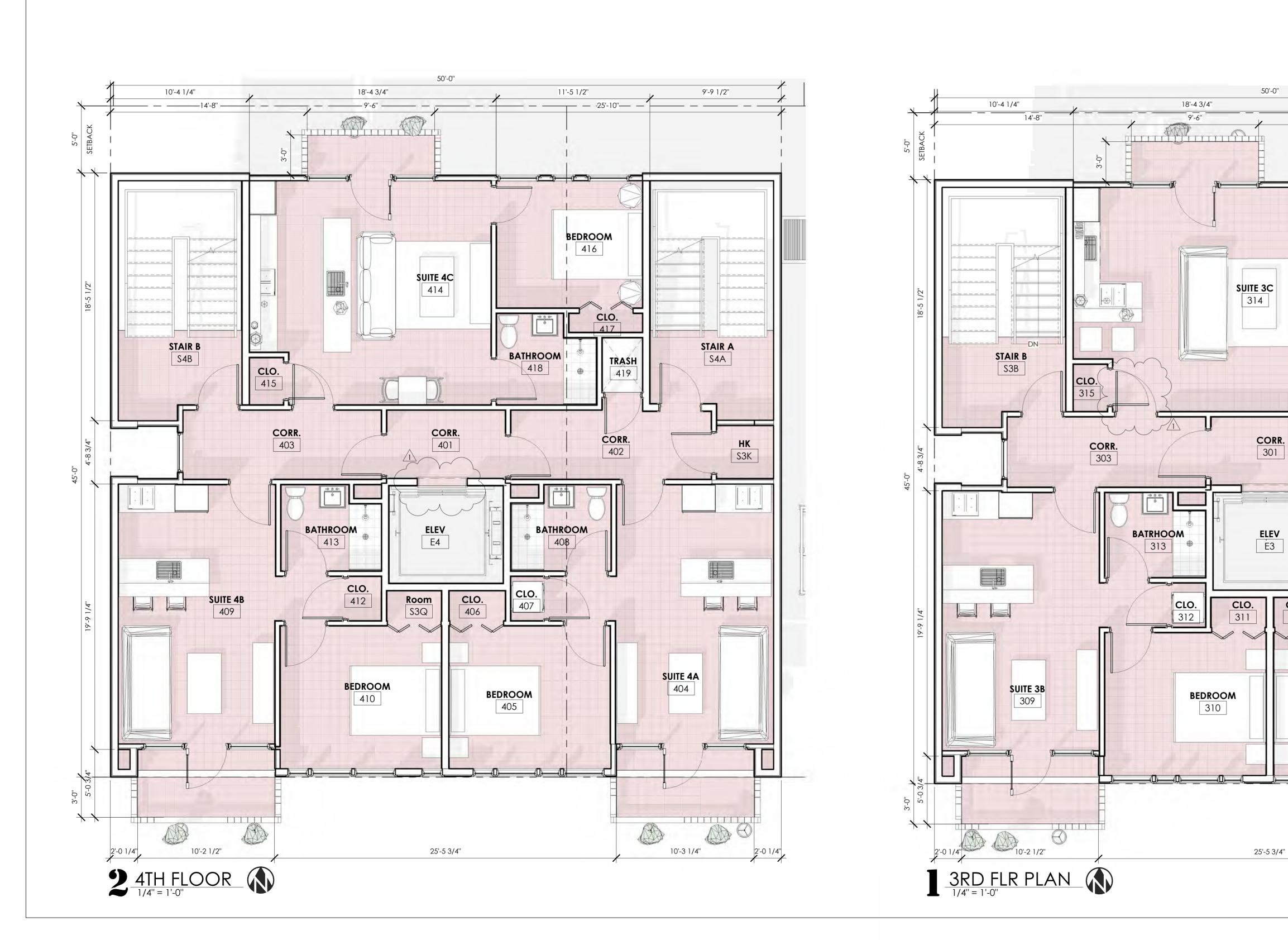
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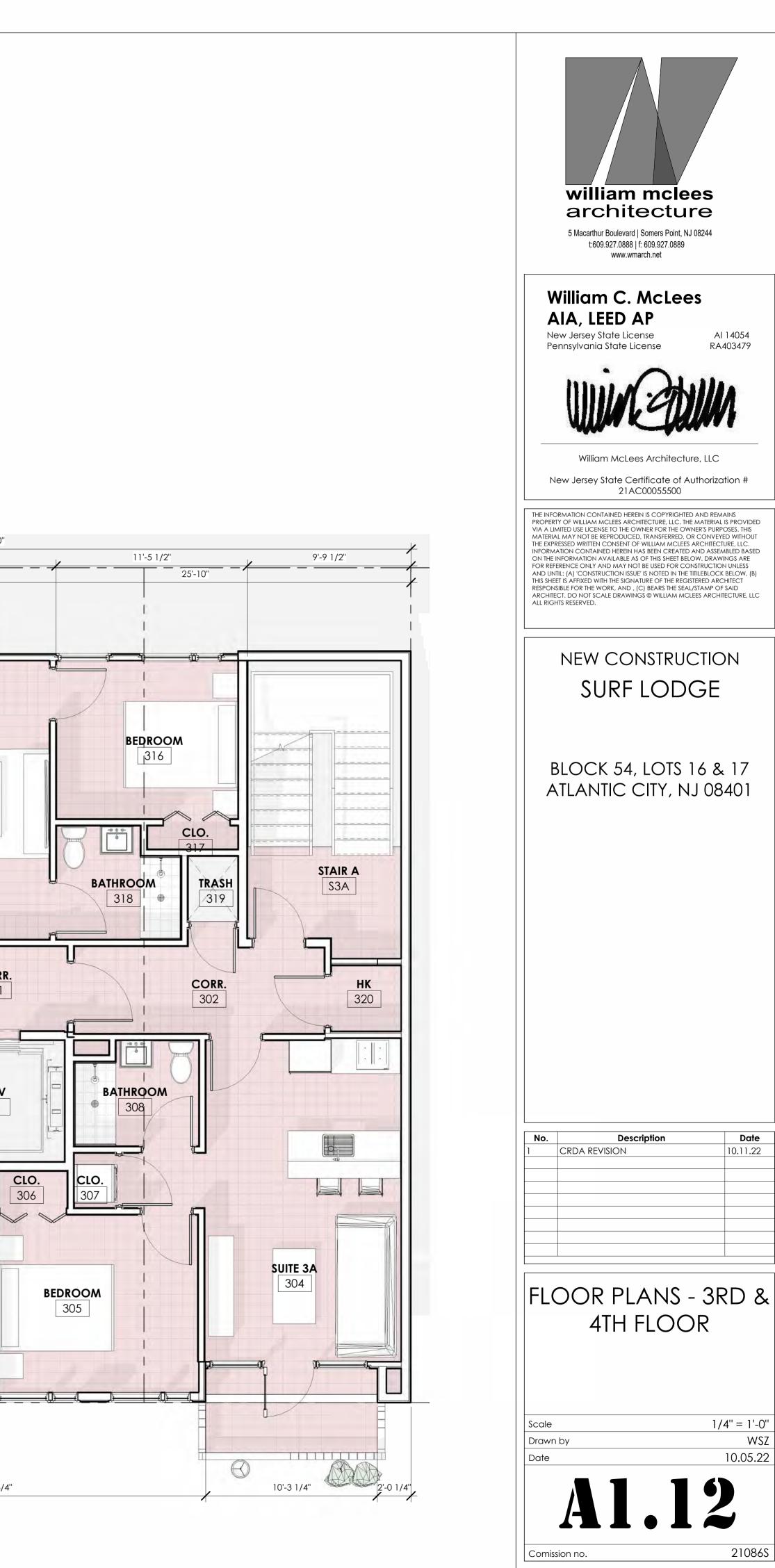
Comission no.



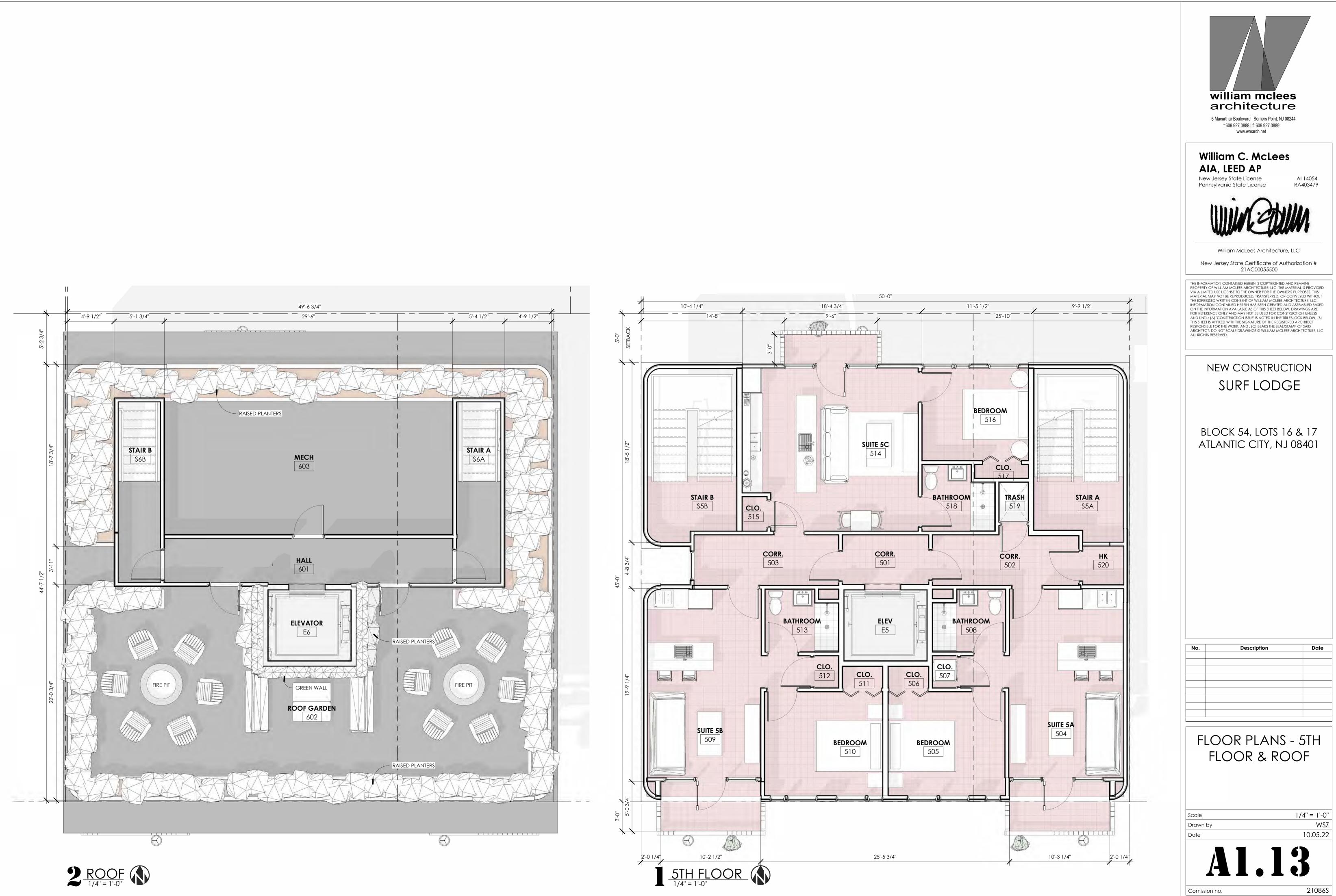
UNIT SCHEDULE				
		RESIDENTIAL UNIT TYPE BED SIZ		BED SIZE
FLOOR	COMMERCIAL	SOUTH FACING (TYPE A)	NORTH FACING (TYPE B)	QUEEN
1	1	0	0	0
2	0	2	1	3
3	0	2	1	3
4	0	2	1	3
5	0	2	1	3
ROOF	0	0	0	0
TOTAL	1	8	4	12



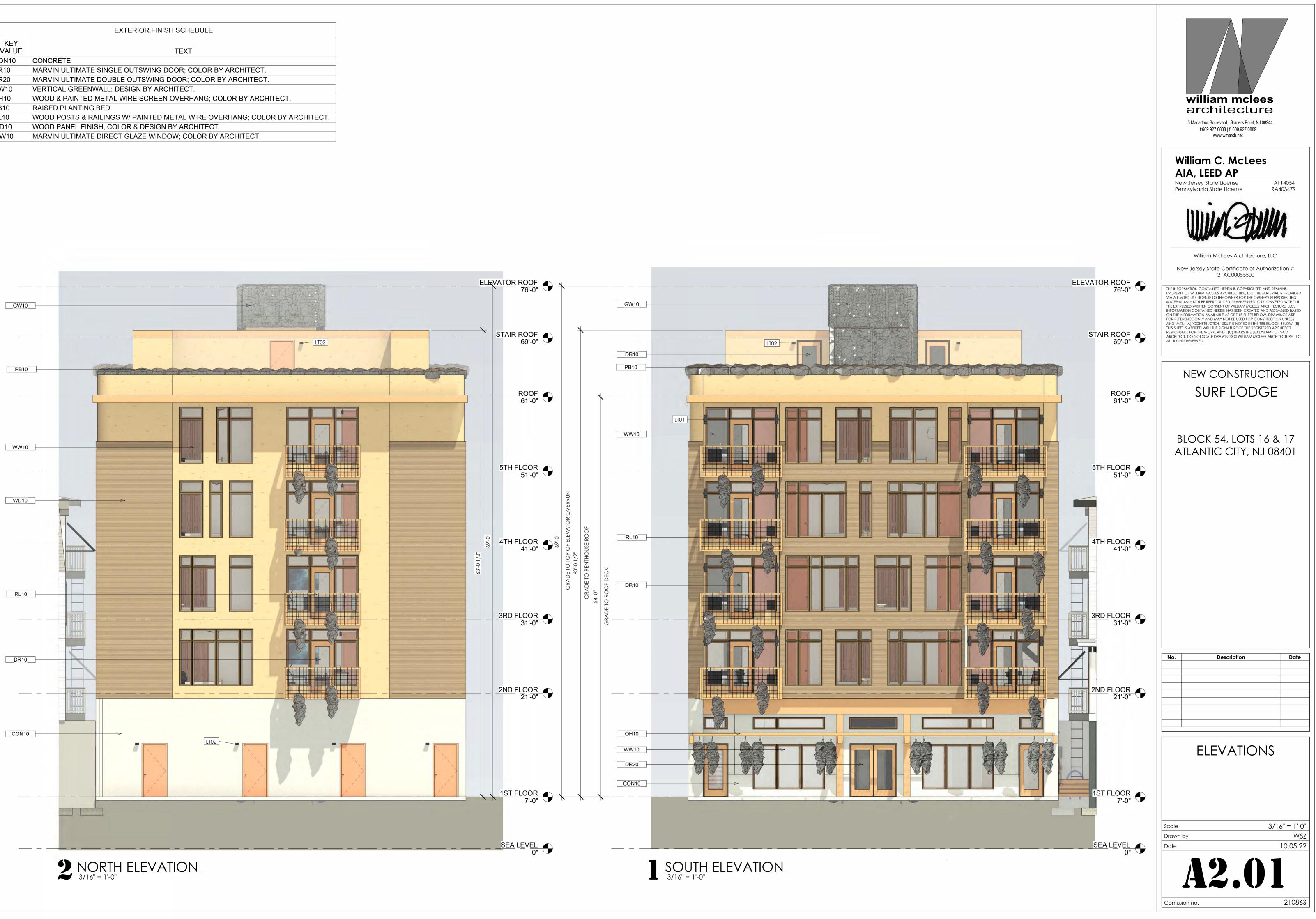








EXTERIOR FINISH SCHEDULE		
KEY VALUE	TEXT	
CON10	CONCRETE	
DR10	MARVIN ULTIMATE SINGLE OUTSWING DOOR; COLOR BY ARCHITECT.	
DR20	MARVIN ULTIMATE DOUBLE OUTSWING DOOR; COLOR BY ARCHITECT.	
GW10	VERTICAL GREENWALL; DESIGN BY ARCHITECT.	
OH10	WOOD & PAINTED METAL WIRE SCREEN OVERHANG; COLOR BY ARCHITECT.	
PB10	RAISED PLANTING BED.	
RL10	WOOD POSTS & RAILINGS W/ PAINTED METAL WIRE OVERHANG; COLOR BY ARCHITECT.	
WD10	WOOD PANEL FINISH; COLOR & DESIGN BY ARCHITECT.	
WW10	MARVIN ULTIMATE DIRECT GLAZE WINDOW; COLOR BY ARCHITECT.	



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