
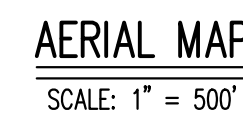


C:\USERS\TANON\MIDRENE - SCULLO ENGINEERING SERVICES, LLC\1\JOHN TAYLOR - SHARED PROJECTS\980-0000 ATLANTIC CITY VACUATE PLANS\0000.DWG
CREATED ON 06/07/2021, LAST MODIFIED ON 06/07/2021

PRELIMINARY & FINAL MAJOR SITE PLANS



SE | **SCIULLO**
ENGINEERING
SERVICES, LLC

APPLICANT

VILLAGE SUPERMARKET INC.
733 MOUNTAIN AVENUE
SPRINGFIELD, NEW JERSEY 07081

OWNER LOTS 1 & 7

CASINO REINVESTMENT DEVELOPMENT AUTHORITY
15 S. PENNSYLVANIA AVENUE
ATLANTIC CITY, NEW JERSEY 08401

OWNER LOT 6

ATLANTIC COUNTY IMPROVEMENT AUTHORITY
1333 ATLANTIC AVENUE
ATLANTIC CITY, NEW JERSEY 08401

APPLICANT'S INTENT:

THE APPLICANT PROPOSES TO REDEVELOP THE EXISTING PAVED PARKING LOT ON THE SITE WITH A \$4,609 SF SUPERMARKET, THE DEVELOPMENT ALSO INCLUDES SURFACE PARKING LOTS, LANDSCAPING, LIGHTING AND UTILITIES.



811

Know what below.
Call before you dig.

1. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF SCUDDO ENGINEERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

2. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL "ISSUED FOR CONSTRUCTION" APPEARS IN THE TITLEBLOCK.


[illegible]

SHEET INDEX		
SHEET NO.	DWG. NO.	SHEET TITLE
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4 OF 12	C0101	SITE PLAN
5 OF 12	C0301	GRADING AND STORMWATER MANAGEMENT PLAN
6 OF 12	C0401	UTILITY PLAN
7 OF 12	C0501	LANDSCAPE PLAN
8 OF 12	C0701	LIGHTING PLAN
9 OF 12	C2001	TRUCK TURNING MOVEMENT PLAN
10 OF 12	C1101	SITE WORK DETAILS
11 OF 12	C1201	SOIL EROSION AND SEDIMENT CONTROL PLAN
12 OF 12	C1301	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS

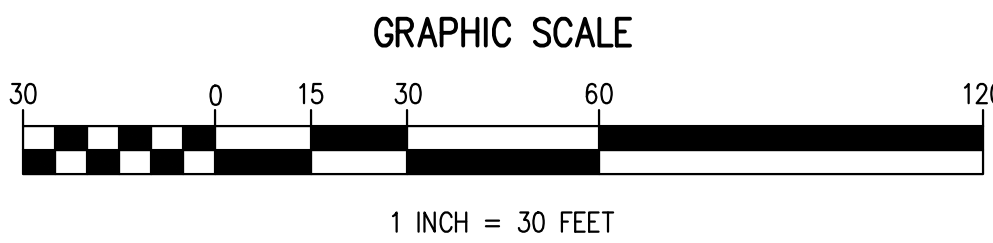
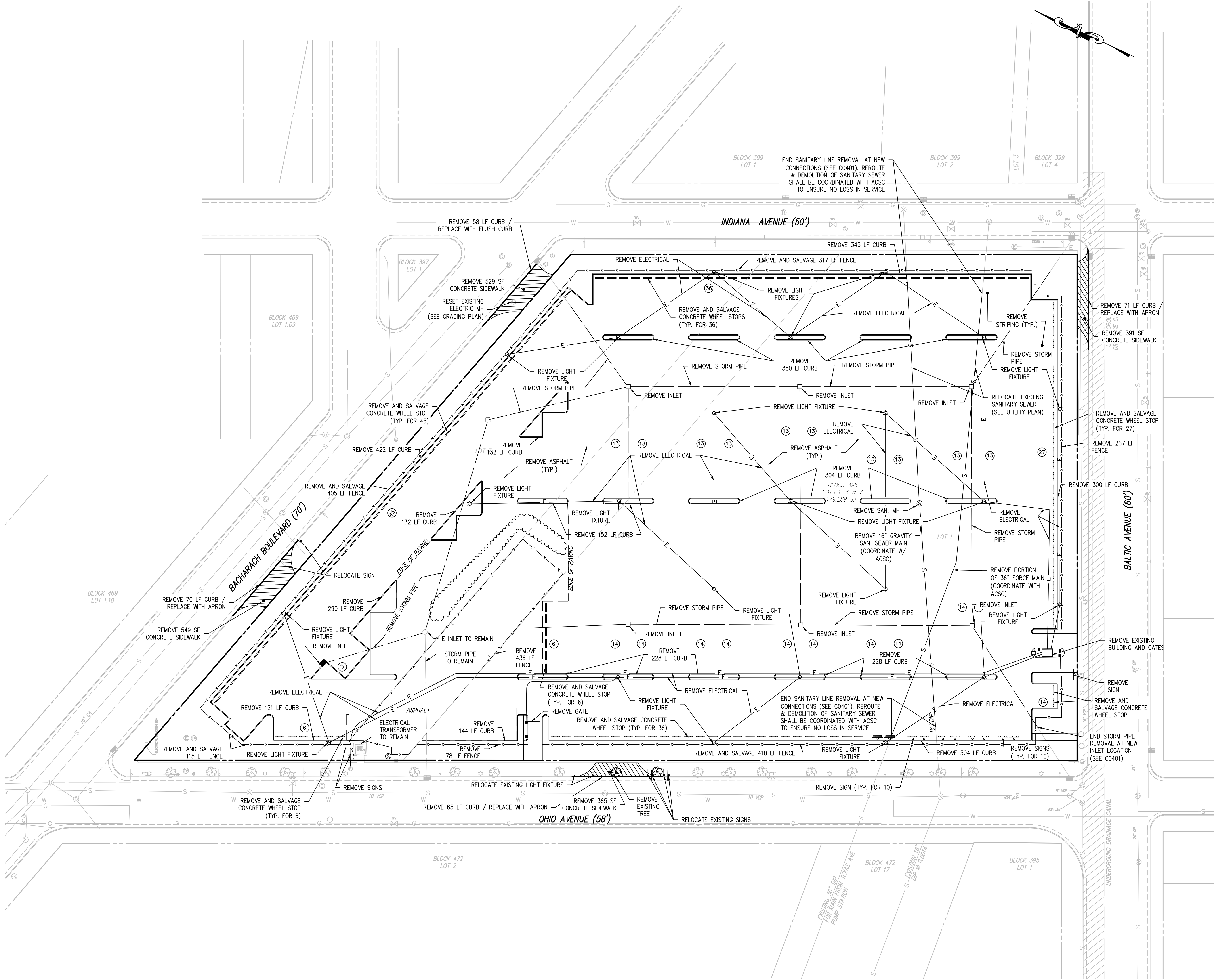
Approved by Resolution # _____	Dated: _____
CRDA PLANNER _____	DATE _____
CRDA Engineer _____	DATE _____
CRDA LAND USE REGULATION ENFORCEMENT OFFICER _____	DATE _____
CRDA HEARING OFFICER _____	DATE _____

PROJECT NO. WSM 004.01		DRAWING NO. C0001	
SCALE AS SHOWN	SHEET 1 OF 12		

ATLANTIC CITY SUPERMARKET BLOCK 396, LOTS 1, 6 & 7 ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY		COVER SHEET	
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		733 MOUNTAIN AVENUE SPRINGFIELD, NEW JERSEY 07081	
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SUBMISSION/REVISION		JTS	
DATE	ISSUE NO.	BY	APPR.
8/16/2021	1	INITIAL RELEASE	



ATLANTIC CITY SUPERMARKET
BLOCK 396, LOTS 1, 6 & 7
ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

DEMOLITION PLAN

PROJECT NO.
VSM 004.01

DATE
8/78/2021

SCALE
1" = 30'

SHEET
3 OF 12

DRAWING NO.
D0101

811
Know what's below.
Call before you dig.

ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE THE PROPERTY OF THE CITY OF ATLANTIC CITY. THE RESPONSIBILITY OF LOCATING UTILITIES PRIOR TO CONSTRUCTION IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR. CALL 1-800-272-1000 FOR FIELD LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.

2. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION APPEARS IN THE TITLE BLOCK.

SE
SCULLO
ENGINEERING
SERVICES, LLC

17 SOUTH CORBONS AVE., SUITE 3
ATLANTIC CITY, NEW JERSEY 08401
PHONE: (609) 300-5171
www.sculloengineering.com

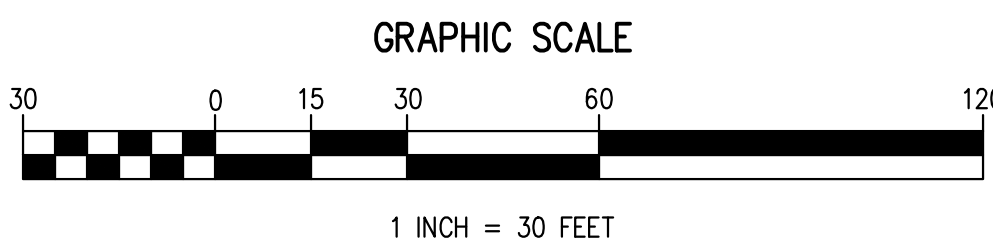
NU CERTIFICATE OF AUTHORIZATION NO. 24-6428280700

JASON T. SCULLO, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 24604686000
PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 33.000628400

john@sculloengineering.com

C:\JESSICA\TAN\CON\MIDRIE - SCULLO ENGINEERING SERVICES, LLC\1\1\JANIS TAYLOR - SHARED PROJECTS\1800 0000 ATLANTIC CITY\WAGATE PLANS\2010.DWG
CREATED ON 01/03/2021, LAST MODIFIED ON 01/11/2021

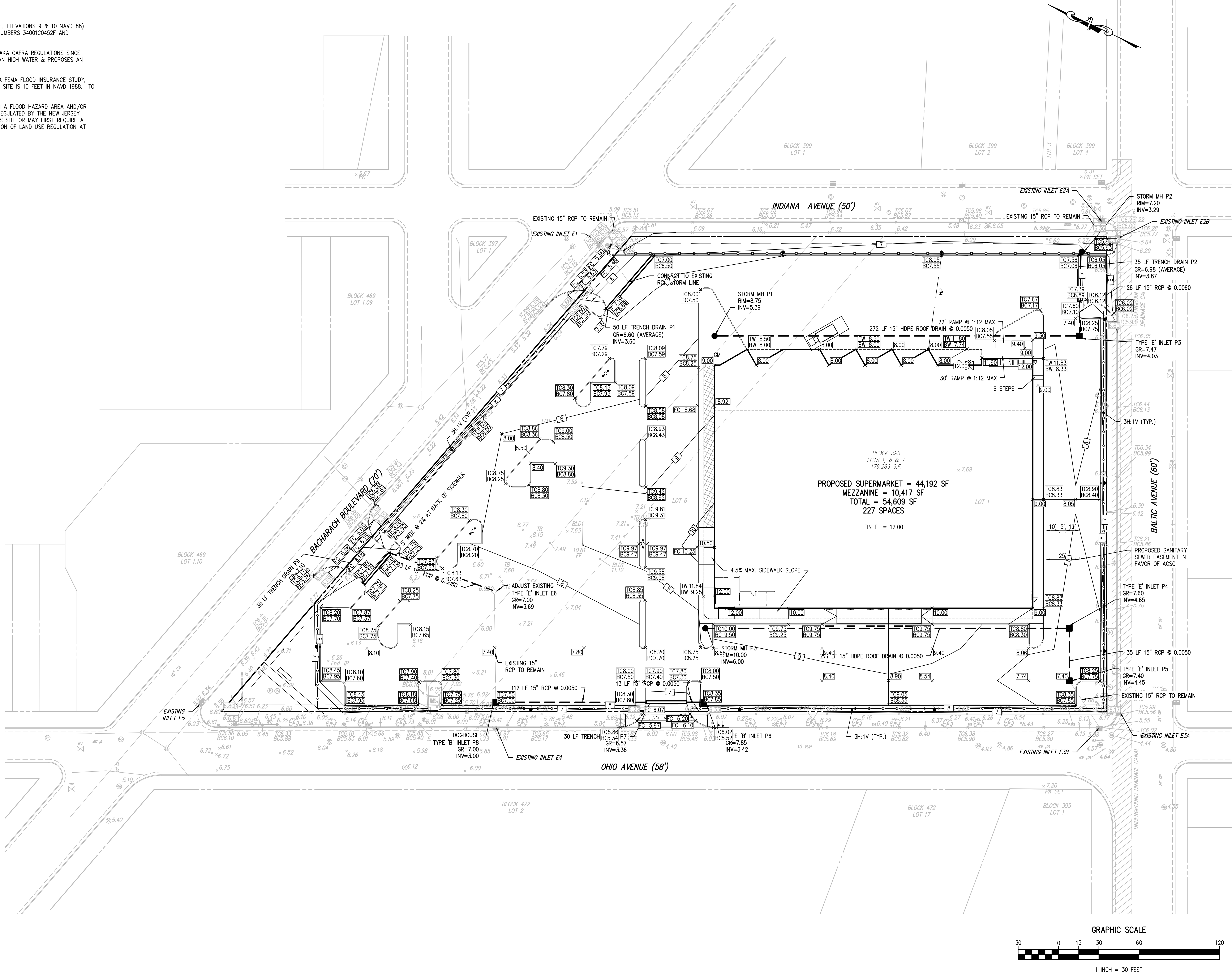
C = CONFORMS
DNC = DOES NOT CONFORM, VARIANCE REQUIRED
ENC = EXISTING NON-CONFORMING



PROJECT NO. VSM 004.01		DRAWING NO. C0101
SCALE 1" = 30'	SHEET 4 OF 12	

FLOOD_ZONE_INFORMATION

1. THE ENTIRE PROJECT SITE IS LOCATED IN THE TIDAL FLOOD HAZARD AREA (FLOOD ZONES AE, ELEVATIONS 9 & 10 NAVD 88) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS NUMBERS 34001C0452F AND 34001C0456G, WITH A PRELIMINARY DATE OF MAY 30, 2014 AND JAN. 30, 2015.
2. THE PROJECT IS NOT SUBJECT TO THE NJ COASTAL ZONE MANAGEMENT RULES (NJAC 7:7) AKA CAFRA REGULATIONS SINCE PROPOSED WORK IS GREATER THAN 500' FROM THE LANDWARD LIMIT OF THE DUNES OR MEAN HIGH WATER & PROPOSES AN INCREASE OF LESS THAN 150 PARKING SPACES, (ACTUALLY A REDUCTION OF 207 SPACES)
3. IN ACCORDANCE WITH NJAC 7:13-3.4(D) (FLOOD HAZARD AREA AND FLOODWAY BASED ON A FEMA FLOOD INSURANCE STUDY, FEMA TIDAL METHOD), THE FLOOD HAZARD AREA DESIGN FLOOD ELEVATION AT THE PROJECT SITE IS 10 FEET IN NAVD 1988. TO CONVERT TO NGVD 1929, ADD 1.3 FEET.
4. THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES ARE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONSULT WWW.NJ.GOV/DEP/LANDUSE OR CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.



1. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY AGENCIES AND THE ENGINEER HAS NOT THE RESPONSIBILITY OF SOIL ENGINEERING OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-0000 FOR FIELD VERIFICATION OF UTILITIES PRIOR TO CONSTRUCTION.

2. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION APPEARS IN THE TITLE BLOCK.



ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SCULLO ENGINEERING SERVICES, LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY REUSE, MODIFICATION, OR ADAPTATION OF ANY PART OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF SCULLO ENGINEERING SERVICES, LLC IS PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL UTILITIES SHOWN ON THESE PLANS. DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR FROM THESE PLANS SHALL BE THE RESPONSIBILITY OF THE USER.

JASON T. SCULLO, P.E., P.D.
PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 2460468000
PROFESSIONAL PLANNER, NEW JERSEY LICENSE NO. 3300062840

SCULLO ENGINEERING SERVICES, LLC
17 SOUTH CORBONS ALLEY, SUITE 3
ATLANTIC CITY, NEW JERSEY 08401
PHONE: (609) 300-5171
WWW.SCULLOENGINEERING.COM

NEW JERSEY
Professional Engineer
No. 2460468000

ATLANTIC CITY SUPERMARKET
BLOCK 396, LOTS 1, 6 & 7
ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

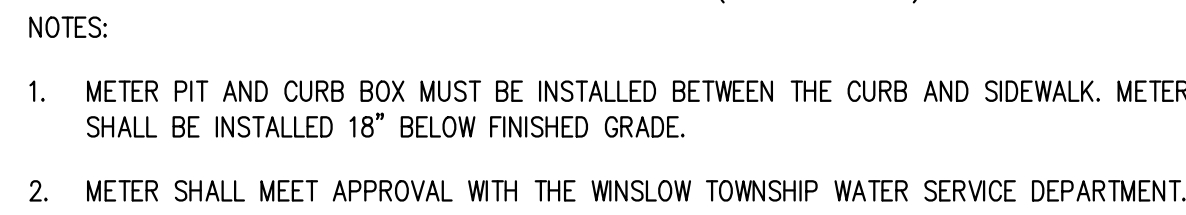
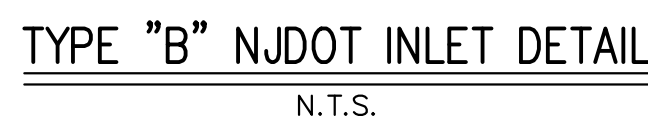
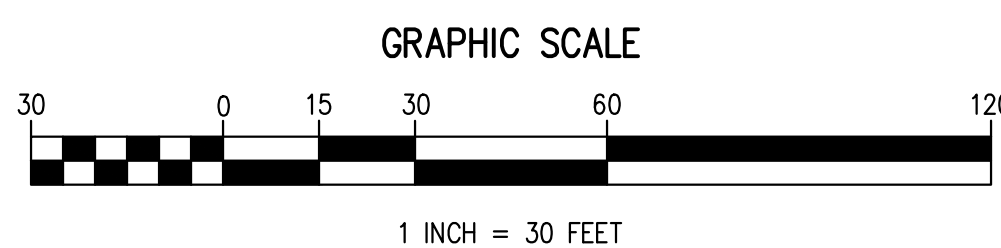
GRADING PLAN

733 MOUNTAIN AVENUE
SPRINGFIELD, NEW JERSEY 07081

PROJECT NO.	DATE	ISSUE NO.	INITIAL RELEASE	SUBMISSION/REVISION	LAT	JTS	BY	APPR.
VSM 004.01	8/7/2021	1						
SCALE	1" = 30'							
SHEET	5 OF 12							
DATE	8/7/2021							
ISSUE NO.	1							
INITIAL RELEASE								
SUBMISSION/REVISION								
LAT								
JTS								
BY								
APPR.								

PROJECT NO. VSM 004.01
SCALE 1" = 30'
SHEET 5 OF 12
DATE 8/7/2021
ISSUE NO. 1
INITIAL RELEASE
SUBMISSION/REVISION
LAT
JTS
BY
APPR.

- PRIOR TO ANY CONSTRUCTION, OTHER THAN CLEARING, A TOPOGRAPHY CHECK IS TO BE PERFORMED AND VERIFIED BY THE INDEPENDENT CONTRACTORS.
- SUBSURFACE UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS BY OTHERS. THEREFORE, THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES MAY NOT BE SHOWN AND THE EXISTENCE, EXACT LOCATION AND ELEVATIONS OF SAID FACILITIES SHALL BE VERIFIED BY THE VARIOUS CONTRACTORS IN THE FIELD.
- THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ENSURING THAT ALL MATERIALS, METHODS AND DETAILS FOR CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO ALL APPLICABLE STATUTES, REGULATIONS, ORDINANCES AND STANDARDS OF THE GOVERNMENTAL BODIES HAVING JURISDICTION OVER SUCH WORK. THIS RESPONSIBILITY SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - A. CONFORMITY WITH THE APPROVED PLANS AS WELL AS STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY.
 - B. CORRECTION OF ALL DEFECTS IN THE WORK, NO MATTER WHAT THE CAUSE, UNTIL THE DATE OF ACCEPTANCE AND THEREAFTER FOR THE PERIOD OF ANY GUARANTEE WHICH RUNS BEYOND THE DATE OF ACCEPTANCE.
 - C. SOLUTION OF ANY PROBLEM, UNFORESEEN AT THE TIME OF THE APPROVAL OF THE PLANS, WHETHER CAUSED OR NOT, TO PRESERVE THE INTEGRITY OF ANY IMPROVEMENTS; INCLUDING PROBLEMS SUCH AS HIGH GROUNDWATER, UNSUITABLE SOILS, UNSTABLE SLOPE, ETC.
- THE CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, AND INSPECTIONS, PAY ALL CHARGES AND FEES, AND OBTAIN NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES INDICATED ON DESIGN PLANS PRIOR TO CONSTRUCTION. CORRECT ANY DISCREPANCIES OR DESIGN ERROR OF ANY DISCREPANCIES TO CORRECT THE DESIGN PLANS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM PAVEMENT FLOW OF 0.75% TO PREVENT PUDDLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, RESTORING, PAVER STOP SIGNAGE, TRAILER PARKING AND SEEDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STOPPING ALL TRAFFIC WHILE THE PROJECT IS UNDERWAY.
- EFFORTS SHALL BE MADE BY THE CONTRACTOR TO RETAIN EXISTING TREES, VEGETATION AND NATURAL CHARACTERISTICS OF THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH DETAILS HEREIN AND THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- NO MATERIAL SHALL BE PLACED OR USED IN DISREGARD PERMITTED BEYOND THE PROPERTY LINE OF RIGHT-OF-WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
- CONTRACTOR TO MAINTAIN NORMAL SERVICE IN EXISTING UTILITIES WHEN CONSTRUCTING CONNECTIONS. UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONNECTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND SUPPORT, IF NECESSARY, ALL EXISTING UTILITIES WHICH MUST BE CROSSED. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. DAMAGE TO EXISTING UTILITIES WILL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR.
- SUBBASE MATERIAL FOR SIDEWALK, CURB OR ASPHALT SHALL BE FREE OF STOP, YIELDING OR UNSUITABLE MATERIALS. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY AS PER ASTM D-1557.
- IF THE CONTRACTOR SHALL NOTICE THE OCCURRENCE OF ANY OBVIOUS DISCREPANCIES ENCOUNTERED IN DESIGNATED DRAINAGE AREAS PRIOR TO FINAL SITE GRADING.
- ALL ROOF DRAINS ARE TO CONNECT DIRECTLY INTO THE PROPOSED STORM SEWER SYSTEM.
- IF THE CONTRACTOR CONTACT THE GARDEN STATE UNDERGROUND LOCATION AT 1-800-272-1000 PRIOR TO ANY DIGGING.



ATLANTIC CITY SUPERMARKET
BLOCK 396, LOTS 1, 6 & 7
ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

UTILITY PLAN

 733 MOUNTAIN AVENUE
SPRINGFIELD, NEW JERSEY, 07081

PROJECT NO. VSM 004.01		DRAWING NO. C0401	
SCALE 1" = 30'	SHEET 6 OF 12	DATE 6/18/2021	ISSUE NO. 1
		SUBMISSION/REVISION BY JTS	INITIAL RELEASE LAT