ATLANTIC CITY SUPERMARKET

PRELIMINARY & FINAL MAJOR SITE PLANS



BLOCK 396, LOTS 1, 6 & 7 ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY



AERIAL MAP SCALE: 1" = 500'

APPLICANT:



733 MOUNTAIN AVENUE SPRINGFIELD, NEW JERSEY 07081

PREPARED BY:

.0 ENGINEERING Services, LLC

7 SOUTH GORDON'S ALLEY, SUITE 3 ATLANTIC CITY, NEW JERSEY 08401 PHONE: (609) 300-5171 www.sciulloengineering.com

APPLICANT

VILLAGE SUPERMARKET INC. 733 MOUNTAIN AVENUE SPRINGFIELD, NEW JERSEY 07081

OWNER LOTS 1 & 7

CASINO REINVESTMENT DEVELOPMENT AUTHORITY 15 S. PENNSYLVANIA AVENUE ATLANTIC CITY, NEW JERSEY 08401

OWNER LOT 6

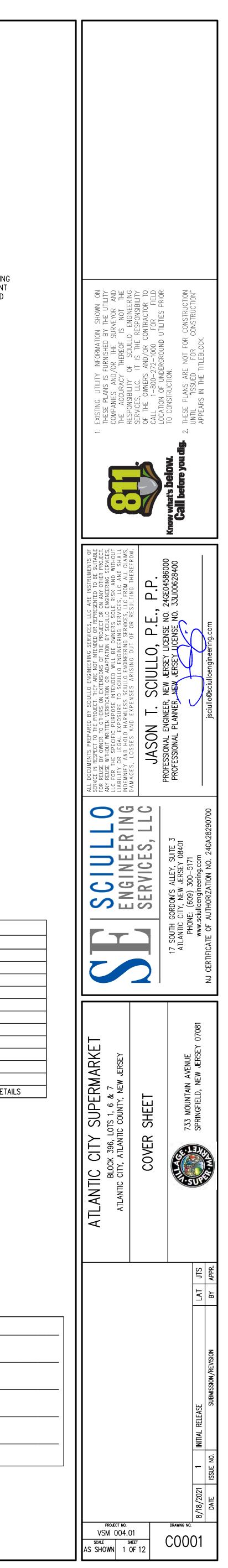
ATLANTIC COUNTY IMPROVEMENT AUTHORITY 1333 ATLANTIC AVENUE ATLANTIC CITY, NEW JERSEY 08401

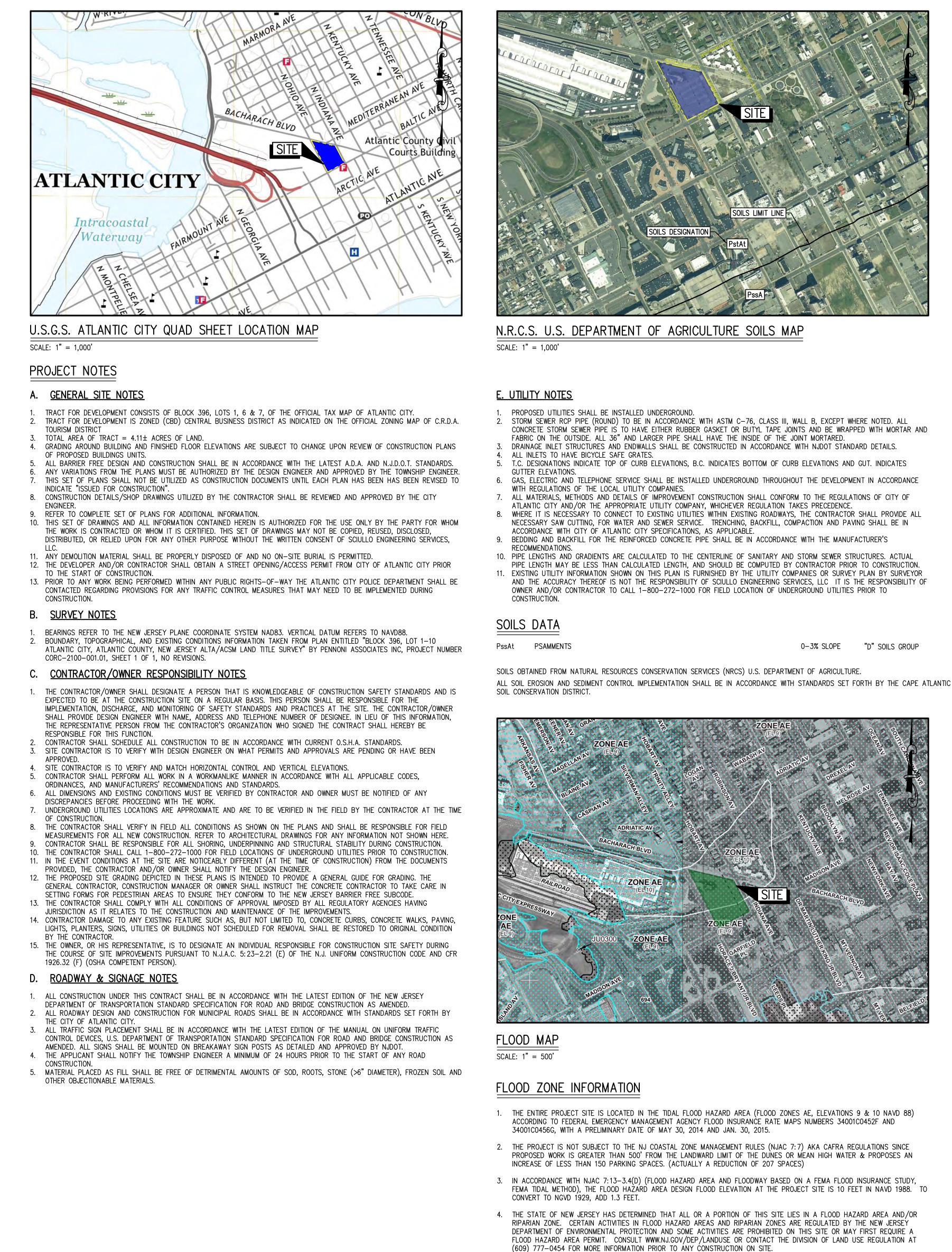
APPLICANT'S INTENT:

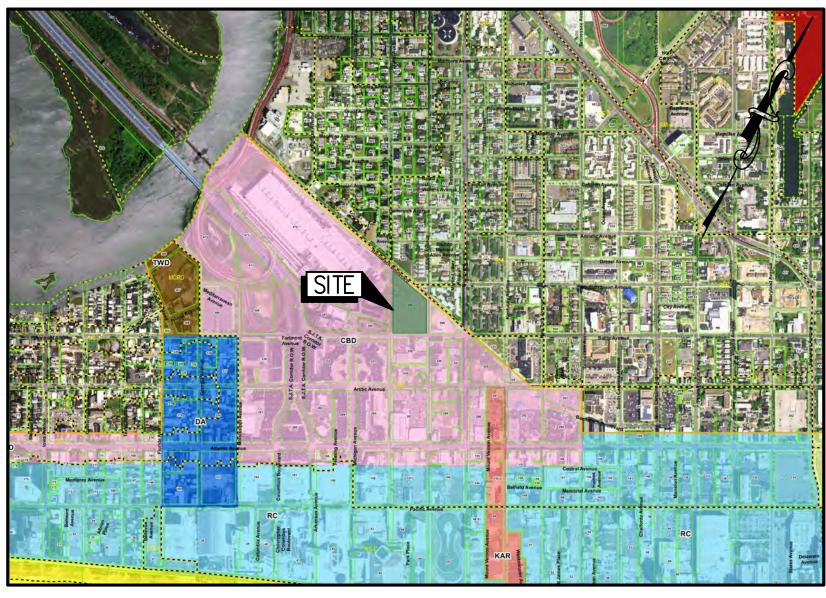
THE APPLICANT PROPOSES TO REDEVELOP THE EXISTING PAVED PARKING LOT ON THE SITE WITH A 54,609 SF SUPERMARKET, THE DEVELOPMENT ALSO INCLUDES SURFACE PARKING LOTS, LANDSCAPING, LIGHTING AND UTILITIES.

		SHEET INDEX
SHEET NO.	DWG. NO.	SHEET TITLE
1 OF 12	C0001	COVER SHEET
2 OF 12	C0002	INFORMATION SHEET
3 OF 12	D0101	DEMOLITION PLAN
4 OF 12	C0101	SITE PLAN
5 OF 12	C0301	GRADING AND STORMWATER MANAGEMENT PLAN
6 OF 12	C0401	UTILITY PLAN
7 OF 12	C0501	LANDSCAPE PLAN
8 OF 12	C0701	LIGHTING PLAN
9 OF 12	C2001	TRUCK TURNING MOVEMENT PLAN
10 OF 12	C1101	SITE WORK DETAILS
11 OF 12	C1201	SOIL EROSION AND SEDIMENT CONTROL PLAN
12 OF 12	C1301	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETA

Approved by Resolution #	Dated:	
CRDA PLANNER		DATE
CRDA Engineer		DATE
CRDA LAND USE REGULATION ENFORCEMENT OFFICER		DATE
CRDA HEARING OFFICER		DATE







CRDA TOURISM DISTRICT ZONING MAP SCALE: 1" = 1,000'

ZONING SCHEDULE

CRDA TOURISM DISTRICT LAND DEVELOPMENT RULES SECTION	CBD ZONE CENTRAL BUSINESS DISTRICT		Permitted or Required	EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
19:66-5.12	USE		SUPERMARKET	PARKING LOT	SUPERMARKET	С
	MUM	PRINCIPAL BUILDING	65 FT ABOVE BFE	N/A	65 FT	С
19:66—5.12(a) 1iv (1)	MAXIMUM HEIGHT	ACCESSORY STRUCTURE	35 FT ABOVE BFE	N/A	N/A	N/A
19:66-5.12(a) 1.iv (2)	MINI	MUM LOT AREA	5,000 SF	179,289 SF 4.11 AC	179,289 SF 4.11 AC	С
19:66-5.12(a) 1.iv (3)	MININ	IUM LOT DEPTH	100 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (4)	MINI	MUM LOT WIDTH	50 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (5)	MINIMU	M LOT FRONTAGE	50 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (6)	MAXIMUM	BUILDING COVERAGE	30%	0.93%	24.6%	С
19:66-5.12(a) 1.iv (7)	MAXIMUM II	MPERVIOUS COVERAGE	80%	77%	87.9%	DNC
19:66-5.12(a) 1.iv (8)	MINIM	UM FRONT YARD	5 FT	73.7 FT	55 FT	С
19:66-5.12(a) 1.iv (9)	MINI	MUM SIDE YARD	0 FT	N/A	N/A	N/A
19:66-5.12(a) 1.iv (10)	MININ	IUM REAR YARD	20 FT	N/A	N/A	N/A
19:66-5.12(a) 1.iv (11)	FLO	DR AREA RATIO	N/A	N/A	N/A	N/A
19:66-5.12(a) 1.iv (12)	OPEN SPACE		N/A	N/A	N/A	N/A
19:66-5.8 (b) 1	MINIMUM ONSITE PARKING		1 SPACE/300 SF 182 SPACES	434 SPACES	227 SPACES	С
19:66-5.8 (c)	MINIMUM ON SITE LOADING		1	N/A	5	С
19:66–5.7(j) 3i	NUMBER OF WALL SIGNS		2	N/A	10	DNC
19:66–5.7(j) 3ii	NUMBER OF AWNINGS, CANOPIES OR MARQUEE SIGNS		1	N/A	2	DNC
19:66–5.7(j) 3iii	NUMBER OF PROJECTING SIGNS		1	N/A	2	DNC
19:66–5.7(j) 3iv	NUMBER	OF WINDOW SIGNS	1	N/A	N/A	N/A
19:66-5.7(j) 3v	NUMBER	OF BILLBOARD SIGNS	1	N/A	N/A	N/A
19:66–5.7(j) 4i	TOTAL AREA OF ALL SIGNS		25% OF WALL SURFACE PER ELEVATION	N/A	< 25% OF FACADE AREA	С
19:66–5.7(j) 4ii		REA OF ELECTRONIC LBOARD SIGN	650 SF	N/A	N/A	N/A
19:66–5.7(j) 5i		WNING, CANOPY OR JEE SIGN HEIGHT	20 FT	N/A	20 FT	С
19:66–5.7(j) 5ii	MAX. PROJECTING SIGN HEIGHT		20 FT	N/A	20 FT	С
19:66–5.7(j) 5iii	MAX.	GROUND HEIGHT	5 FT	N/A	N/A	N/A
19:66–5.7(j) 5iv	MAX. F	POLE SIGN HEIGHT	20 FT	N/A	25 FT	DNC
19:66-5.7(j) 5v	MAX. WALL SIGN HEIGHT		ROOFLINE	N/A	BELOW ROOFLINE	С
19:66–5.7(j) 5vi		CTRONIC BILLBOARD SIGN HEIGHT	40 FT	N/A	N/A	N/A
19:66–5.7(j) 6ii		ROUND, POLE, AND C BILLBOARD SETBACK	5 FT	N/A	5 FT	С

C = CONFORMSDNC = DOES NOT CONFORM, VARIANCE REQUIRED ENC = EXISTING NON-CONFORMING

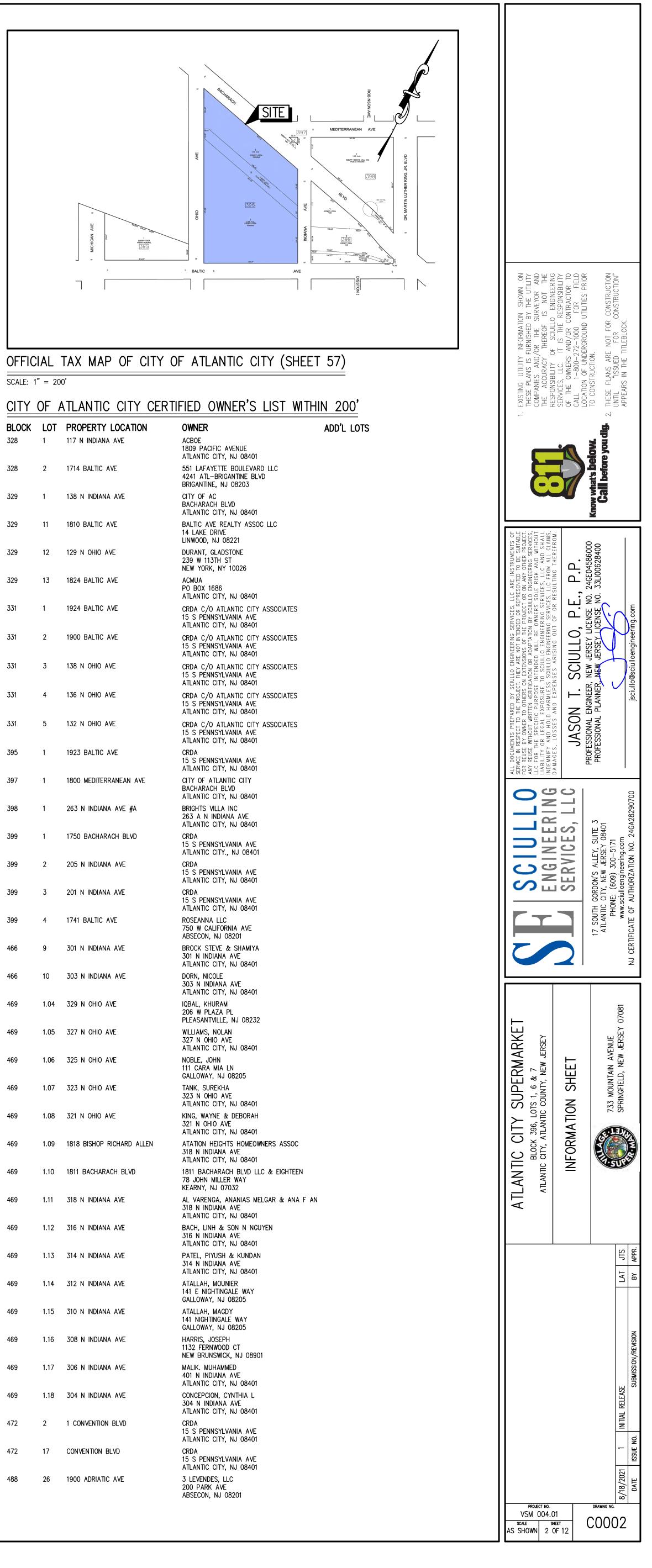
DESIGN WAIVERS REQUESTED

1. FROM 19:66-7.b(d) 2 THROUGH 5 TO PERMIT LESS PLANTINGS THAN REQUIRED BY THE REGULATIONS (SEE NOTES ON CO601 FOR DETAILED ANALYSIS)

2. FROM 19:66-7.12(m) TO PERMIT OUTDOOR DISPLAY OF MERCHANDISE.

UTILITIES

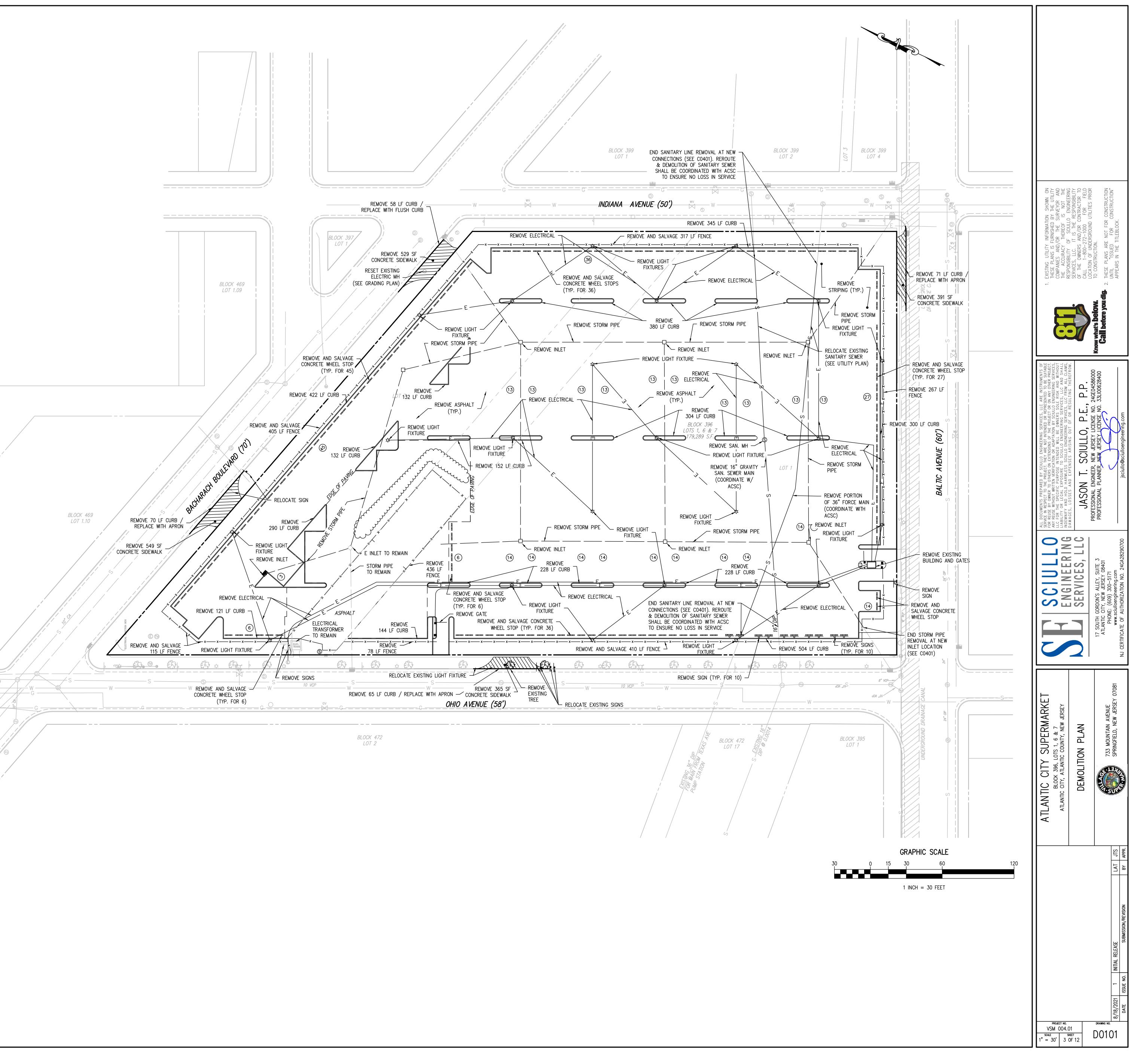
ACMUA GARTH MOYLE, DEPUTY DIRECTOR PO BOX 117 401 N VIRGINIA AVE ATLANTIC CITY, NJ 08401 aTLANTIC CITY SEWERAGE COMPANY ATT: WALT MILLER 1200 ATLANTIC AVENUE ATLANTIC CITY, NJ 08401 ATLANTIC COUNTY UTILITIES AUTHORITY PO BOX 996 PLEASANTVILLE, NJ 08232 ATLANTIC CITY ELECTRIC ATT: GREGORY BRUBAKER, PE 2542 FIRE ROAD EGG HARBOR TOWNSHIP, NJ 08234 SOUTH JERSEY GAS COMPANY ATLANTIC DIVISION ATT: JIM BRUN 111 N FRNAKLIN BLVD PLEASANTVILLE, NJ 08232



SCALE: 1" = 200'

CITY	OF	ATLANTIC	CITY	CERTIFIED	OWNER'S	LIST	WITHIN	200'

		ATLANTIC CITY CEF	RTIFIED OWNER'S LIST WITHIN 200'
BLOCK 328	LOT 1	PROPERTY LOCATION 117 N INDIANA AVE	OWNER ADD'L LOTS
328	2	1714 BALTIC AVE	ATLANTIC CITY, NJ 08401 551 LAFAYETTE BOULEVARD LLC 4241 ATL-BRIGANTINE BLVD BRIGANTINE, NJ 08203
329	1	138 N INDIANA AVE	CITY OF AC BACHARACH BLVD ATLANTIC CITY, NJ 08401
329	11	1810 BALTIC AVE	BALTIC AVE REALTY ASSOC LLC 14 LAKE DRIVE LINWOOD, NJ 08221
329	12	129 N OHIO AVE	DURANT, GLADSTONE 239 W 113TH ST NEW YORK, NY 10026
329	13	1824 BALTIC AVE	ACMUA PO BOX 1686 ATLANTIC CITY, NJ 08401
331	1	1924 BALTIC AVE	CRDA C/O ATLANTIC CITY ASSOCIATES 15 S PENNSYLVANIA AVE ATLANTIC CITY, NJ 08401
331	2	1900 BALTIC AVE	CRDA C/O ATLANTIC CITY ASSOCIATES 15 S PENNSYLVANIA AVE
331	3	138 N OHIO AVE	ATLANTIC CITY, NJ 08401 CRDA C/O ATLANTIC CITY ASSOCIATES 15 S PENNSYLVANIA AVE
331	4	136 N OHIO AVE	ATLANTIC CITY, NJ 08401 CRDA C/O ATLANTIC CITY ASSOCIATES 15 S PENNSYLVANIA AVE
331	5	132 N OHIO AVE	ATLANTIC CITY, NJ 08401 CRDA C/O ATLANTIC CITY ASSOCIATES 15 S PENNSYLVANIA AVE
395	1	1923 BALTIC AVE	ATLANTIC CITY, NJ 08401 CRDA 15 S PENNSYLVANIA AVE
397	1	1800 MEDITERRANEAN AVE	ATLANTIC CITY, NJ 08401 CITY OF ATLANTIC CITY BACHARACH BLVD
398	1	263 N INDIANA AVE #A	ATLANTIC CITY, NJ 08401 BRIGHTS VILLA INC 263 A N INDIANA AVE
399	1	1750 BACHARACH BLVD	ATLANTIC CITY, NJ 08401 CRDA 15 S PENNSYLVANIA AVE
399	2	205 N INDIANA AVE	ATLANTIC CITY., NJ 08401 CRDA 15 S PENNSYLVANIA AVE
399	3	201 N INDIANA AVE	ATLANTIC CITY, NJ 08401 CRDA 15 S PENNSYLVANIA AVE
399	4	1741 BALTIC AVE	ATLANTIC CITY, NJ 08401 ROSEANNA LLC 750 W CALIFORNIA AVE
466	9	301 N INDIANA AVE	ABSECON, NJ 08201 BROCK STEVE & SHAMIYA 301 N INDIANA AVE
466	10	303 N INDIANA AVE	ATLANTIC CITY, NJ 08401 DORN, NICOLE 303 N INDIANA AVE
469	1.04	329 N OHIO AVE	ATLANTIC CITY, NJ 08401 IQBAL, KHURAM 206 W PLAZA PL PLEASANTVILLE, NJ 08232
469	1.05	327 N OHIO AVE	WILLIAMS, NOLAN 327 N OHIO AVE ATLANTIC CITY, NJ 08401
469	1.06	325 N OHIO AVE	NOBLE, JOHN 111 CARA MIA LN
469	1.07	323 N OHIO AVE	GALLOWAY, NJ 08205 TANK, SUREKHA 323 N OHIO AVE
469	1.08	321 N OHIO AVE	ATLANTIC CITY, NJ 08401 KING, WAYNE & DEBORAH 321 N OHIO AVE
469	1.09	1818 BISHOP RICHARD ALLEN	ATLANTIC CITY, NJ 08401 ATATION HEIGHTS HOMEOWNERS ASSOC 318 N INDIANA AVE ATLANTIC CITY, NJ 08401
469	1.10	1811 BACHARACH BLVD	ATLANTIC CITY, NJ 08401 1811 BACHARACH BLVD LLC & EIGHTEEN 78 JOHN MILLER WAY KEARNY, NJ 07032
469	1.11	318 N INDIANA AVE	KEARNY, NJ 07032 AL VARENGA, ANANIAS MELGAR & ANA F AN 318 N INDIANA AVE ATLANTIC CITY, NJ 08401
469	1.12	316 N INDIANA AVE	ATLANTIC CITY, NJ 08401 BACH, LINH & SON N NGUYEN 316 N INDIANA AVE ATLANTIC CITY, NJ 08401
469	1.13	314 N INDIANA AVE	ATLANTIC CITY, NJ 08401 PATEL, PIYUSH & KUNDAN 314 N INDIANA AVE ATLANTIC CITY, NJ 08401
469	1.14	312 N INDIANA AVE	ATLANTIC CITY, NJ 08401 ATALLAH, MOUNIER 141 E NIGHTINGALE WAY
469	1.15	310 N INDIANA AVE	GALLOWAY, NJ 08205 ATALLAH, MAGDY 141 NIGHTINGALE WAY
469	1.16	308 N INDIANA AVE	GALLOWAY, NJ 08205 HARRIS, JOSEPH 1132 FERNWOOD CT
469	1.17	306 N INDIANA AVE	NEW BRUNSWICK, NJ 08901 MALIK. MUHAMMED 401 N INDIANA AVE
469	1.18	304 N INDIANA AVE	ATLANTIC CITY, NJ 08401 CONCEPCION, CYNTHIA L 304 N INDIANA AVE
472	2	1 CONVENTION BLVD	ATLANTIC CITY, NJ 08401 CRDA 15 S PENNSYLVANIA AVE ATLANTIC CITY, NJ 08401
470	17	CONVENTION BLVD	ATLANTIC CITY, NJ 08401 CRDA 15 S PENNSYLVANIA AVE
472			ATLANTIC CITY, NJ 08401

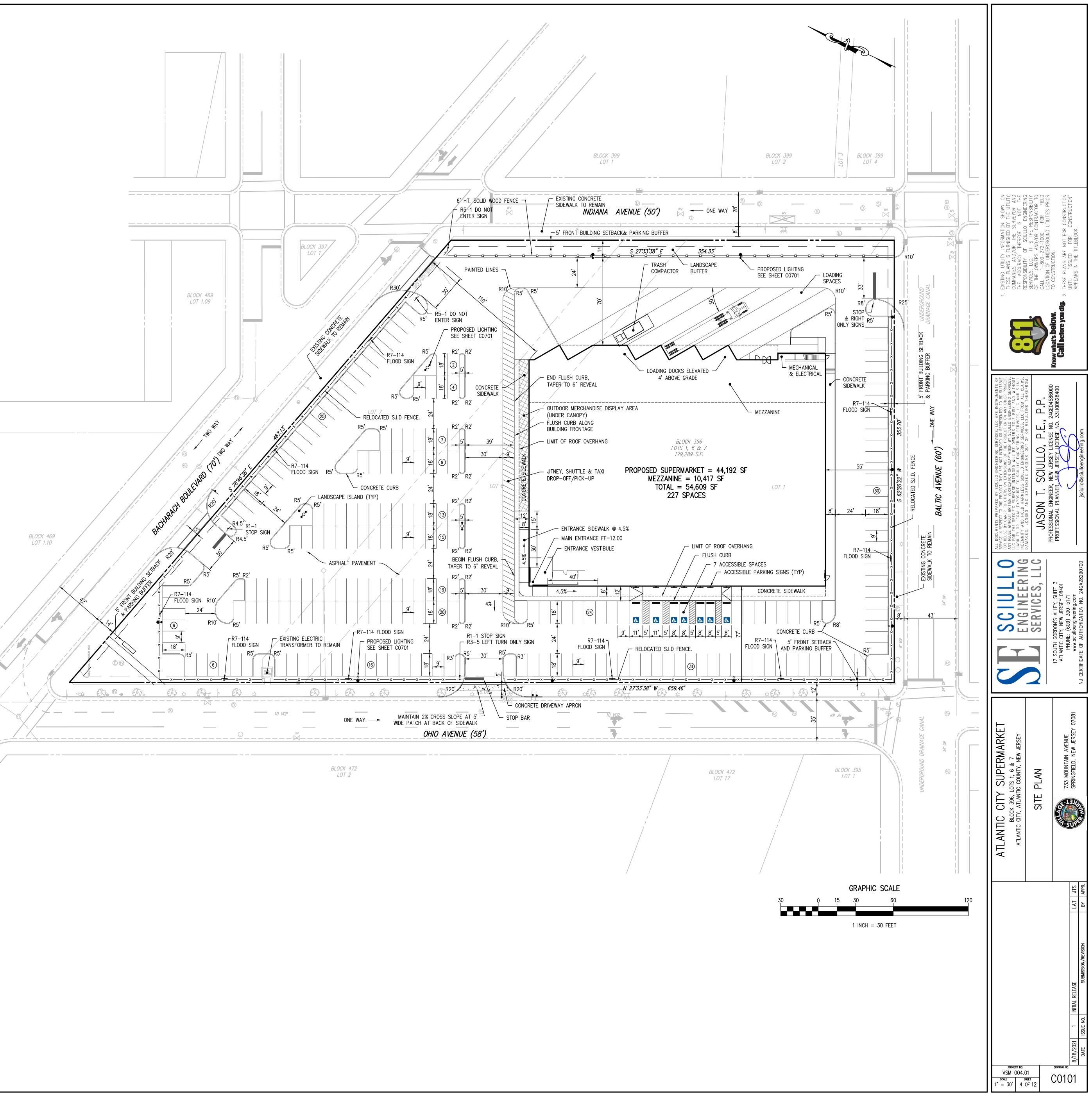


ZONING SCHEDULE ------

CRDA TOURISM DISTRICT LAND DEVELOPMENT RULES SECTION	CBD ZONE CENTRAL BUSINESS DISTRICT		Permitted or Required	EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
19:66-5.12	USE		SUPERMARKET	PARKING LOT	SUPERMARKET	С
	NUM HT	PRINCIPAL BUILDING	65 FT ABOVE BFE	N/A	65 FT	С
19:66—5.12(a) 1iv (1)	MAXIMUM HEIGHT	ACCESSORY STRUCTURE	35 FT ABOVE BFE	N/A	N/A	N/A
19:66-5.12(a) 1.iv (2)	MINI	MUM LOT AREA	5,000 SF	179,289 SF 4.11 AC	179,289 SF 4.11 AC	С
19:66-5.12(a) 1.iv (3)	MINI	IUM LOT DEPTH	100 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (4)	MINI	MUM LOT WIDTH	50 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (5)	MINIMU	M LOT FRONTAGE	50 FT	353.7 FT	353.7 FT	С
19:66-5.12(a) 1.iv (6)	MAXIMUM	BUILDING COVERAGE	30%	0.93%	24.6%	С
19:66-5.12(a) 1.iv (7)	MAXIMUM I	MPERVIOUS COVERAGE	80%	77%	87.9%	DNC
19:66-5.12(a) 1.iv (8)	MINIM	UM FRONT YARD	5 FT	73.7 FT	55 FT	С
19:66-5.12(a) 1.iv (9)	MINI	MUM SIDE YARD	0 FT	N/A	N/A	N/A
19:66-5.12(a) 1.iv (10)	MININ	IUM REAR YARD	20 FT	N/A	N/A	N/A
19:66-5.12(a) 1.iv (11)	FLO	DR AREA RATIO	N/A	N/A	N/A	N/A
19:66-5.12(a) 1.iv (12)	(DPEN SPACE	N/A	N/A	N/A	N/A
19:66-5.8 (b) 1	MINIMUM ONSITE PARKING		1 SPACE/300 SF 182 SPACES	434 SPACES	227 SPACES	С
19:66-5.8 (c)	MINIMUM ON SITE LOADING		1	N/A	5	С
19:66–5.7(j) 3i	NUMBER OF WALL SIGNS		2	N/A	10	DNC
19:66–5.7(j) 3ii	NUMBER OF AWNINGS, CANOPIES OR MARQUEE SIGNS		1	N/A	2	DNC
19:66–5.7(j) 3iii	NUMBER OF PROJECTING SIGNS		1	N/A	2	DNC
19:66–5.7(j) 3iv	NUMBER OF WINDOW SIGNS		1	N/A	N/A	N/A
19:66-5.7(j) 3v	NUMBER	OF BILLBOARD SIGNS	1	N/A	N/A	N/A
19:66–5.7(j) 4i	TOTAL A	REA OF ALL SIGNS	25% OF WALL SURFACE PER ELEVATION	N/A	< 25% OF FACADE AREA	С
19:66–5.7(j) 4ii		REA OF ELECTRONIC LBOARD SIGN	650 SF	N/A	N/A	N/A
19:66–5.7(j) 5i		WNING, CANOPY OR JEE SIGN HEIGHT	20 FT	N/A	20 FT	С
19:66–5.7(j) 5ii	MAX. PRO	JECTING SIGN HEIGHT	20 FT	N/A	20 FT	С
19:66–5.7(j) 5iii	MAX.	GROUND HEIGHT	5 FT	N/A	N/A	N/A
19:66-5.7(j) 5iv	MAX. F	POLE SIGN HEIGHT	20 FT	N/A	25 FT	DNC
19:66–5.7(j) 5v	MAX. \	VALL SIGN HEIGHT	ROOFLINE	N/A	BELOW ROOFLINE	С
19:66–5.7(j) 5vi		CTRONIC BILLBOARD	40 FT	N/A	N/A	N/A
19:66–5.7(j) 6ii	MIN. GROUND, POLE, AND ELECTRONIC BILLBOARD SETBACK		5 FT	N/A	5 FT	С

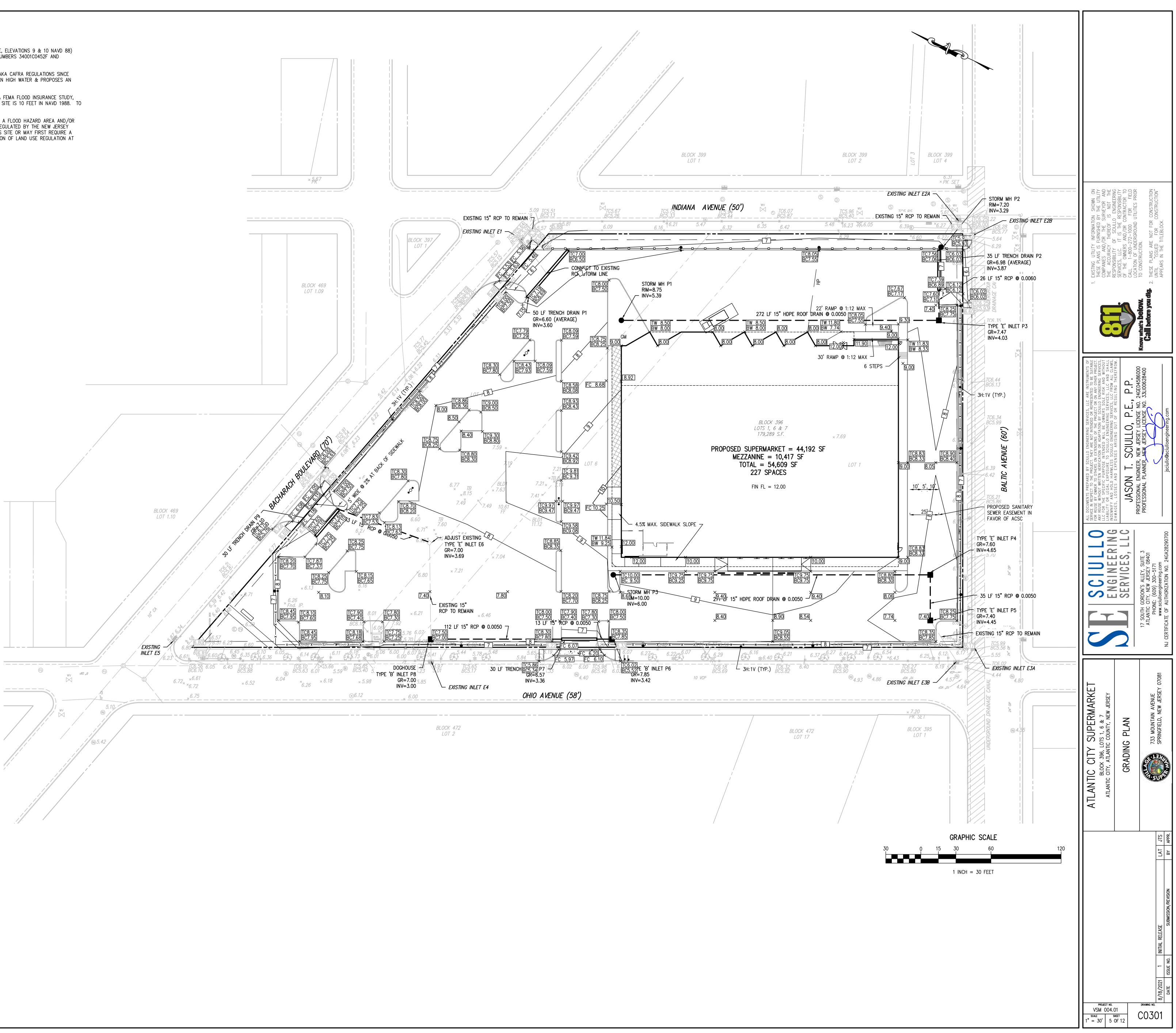
DNC = DOES NOT CONFORM, VARIANCE REQUIRED ENC = EXISTING NON-CONFORMING





FLOOD ZONE INFORMATION

- 1. THE ENTIRE PROJECT SITE IS LOCATED IN THE TIDAL FLOOD HAZARD AREA (FLOOD ZONES AE, ELEVATIONS 9 & 10 NAVD 88) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS NUMBERS 34001C0452F AND 34001C0456G, WITH A PRELIMINARY DATE OF MAY 30, 2014 AND JAN. 30, 2015.
- 2. THE PROJECT IS NOT SUBJECT TO THE NJ COASTAL ZONE MANAGEMENT RULES (NJAC 7:7) AKA CAFRA REGULATIONS SINCE PROPOSED WORK IS GREATER THAN 500' FROM THE LANDWARD LIMIT OF THE DUNES OR MEAN HIGH WATER & PROPOSES AN INCREASE OF LESS THAN 150 PARKING SPACES. (ACTUALLY A REDUCTION OF 207 SPACES)
- 3. IN ACCORDANCE WITH NJAC 7:13-3.4(D) (FLOOD HAZARD AREA AND FLOODWAY BASED ON A FEMA FLOOD INSURANCE STUDY, FEMA TIDAL METHOD), THE FLOOD HAŽÁRĎ AREA DESIGN FLOOD ELEVATION AT THE PROJECT SITE IS 10 FEET IN NAVD 1988. TO CONVERT TO NGVD 1929, ADD 1.3 FEET.
- 4. THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES ARE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONSULT WWW.NJ.GOV/DEP/LANDUSE OR CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.





UTILITY NOTES:

- 1. PRIOR TO ANY CONSTRUCTION, OTHER THAN CLEARING, A TOPOGRAPHY CHECK IS TO BE PERFORMED AND VERIFIED BY THE INDEPENDENT CONTRACTORS. 2. SUBSURFACE UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND PLANS BY OTHERS, THEREFORE, THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES MAY NOT BE SHOWN AND THE
- EXISTENCE, EXACT LOCATION AND ELEVATIONS OF SAID FACILITIES SHALL BE VERIFIED BY THE VARIOUS CONTRACTORS IN THE FIELD. 3. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ENSURING THAT ALL MATERIALS,
- METHODS AND DETAILS FOR CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO ALL APPLICABLE STATUTES, REGULATIONS, ORDINANCES AND STANDARDS OF THE GOVERNMENTAL BODIES HAVING JURISDICTION OVER SUCH WORK. THIS RESPONSIBILITY SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
- A. CONFORMITY WITH THE APPROVED PLANS AS WELL AS STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY. B. CORRECTION OF ALL DEFECTS IN THE WORK, NO MATTER WHAT THE CAUSE, UNTIL THE DATE OF ACCEPTANCE AND THEREAFTER FOR THE PERIOD OF ANY GUARANTEE WHICH RUNS BEYOND THE
- DATE OF ACCEPTANCE. C. SOLUTION OF ANY PROBLEM, UNFORESEEN AT THE TIME OF THE APPROVAL OF THE PLANS, WHICH MAY OR DO IMPAIR THE INTEGRITY OF ANY IMPROVEMENTS, INCLUDING PROBLEMS SUCH AS HIGH GROUNDWATER, UNSUITABLE SOILS, UNSTABLE SOIL, ETC.
- 4. THE CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, AND INSPECTIONS, PAY ALL CHANGES AND FEES AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT. 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES INDICATED ON DESIGN PLANS PRIOR
- TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES TO CORRECT THE DESIGN PLANS PRIOR TO CONSTRUCTION. 6. THE CONTRACTOR SHALL MAINTAIN A MINIMUM PAVEMENT SLOPE OF 0.75% TO PREVENT PUDDLING.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, RESTORING, PAVING, TOP SOILING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. 8. EFFORTS SHALL BE MADE BY THE CONTRACTOR TO RETAIN EXISTING TREES, VEGETATION AND
- NATURAL CHARACTERISTICS OF THE SITE. 9. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH DETAILS
- HEREIN AND THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY". 10. NO MATERIAL SHALL BE PLACED OR ANY DISTURBANCE PERMITTED BEYOND THE PROJECT PROPERTY LINE OF RIGHT-OF-WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY
- INVOLVED. 11. CONTRACTOR TO MAINTAIN NORMAL SERVICE IN EXISTING UTILITIES WHEN CONSTRUCTING CONNECTIONS. UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR
- PRIOR TO COMMENCEMENT OF CONSTRUCTION. 12. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND SUPPORT, IF NECESSARY, ALL EXISTING UTILITIES WHICH MUST BE CROSSED. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE UTILITY OWNER.
- 13. SUBBASE MATERIAL FOR SIDEWALK, CURB OR ASPHALT SHALL BE FREE OF SOFT, YIELDING OR UNSUITABLE MATERIALS. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND COMPACTED TO 95% OPTIMUM DENSITY AS PER MODIFIED PROCTOR METHOD.
- 14. ALL EXCAVATED OR FILLED AREAS SHALL BE FREE OF SOFT, YIELDING OR UNSUITABLE MATERIALS .UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND
- COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY AS PER A.S.T.M., D-1557. 15. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSUITABLE SOILS OR DISCREPANCIES
- ENCOUNTERED IN DESIGNATED DRAINAGE AREAS PRIOR TO FINAL SITE GRADING. 16. ALL ROOF DRAINS ARE TO CONNECT DIRECTLY INTO THE PROPOSED STORM SEWER SYSTEM. 17. CONTRACTOR TO CONTACT THE GARDEN STATE UNDERGROUND LOCATION AT 1-800-272-1000 PRIOR TO ANY DIGGING.

