

1401 BOARDWALK

SHEET 10, BLOCK 53, LOT 14

CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

PRELIMINARY and FINAL SITE PLANS



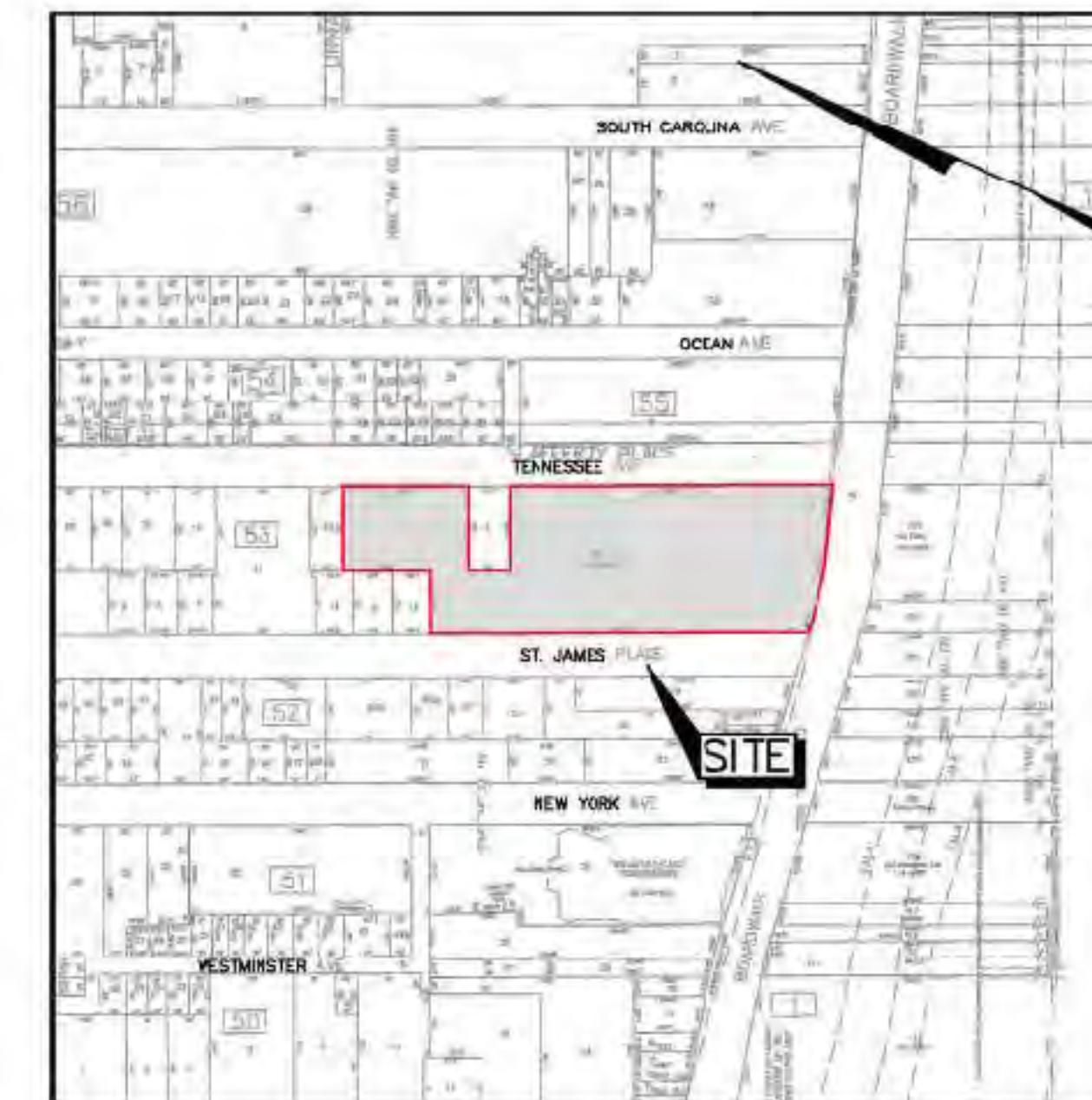
OFFICIAL SOILS MAP OF ATLANTIC COUNTY
SCALE: 1" = 300'



OFFICIAL ZONING MAP OF ATLANTIC CITY
SCALE: 1" = +/-500'



U.S.G.S. ATLANTIC CITY QUAD SHEET LOCATION MAP
SCALE: 1" = 2,000'



TAX MAP
SCALE: 1" = 200'
TAX SHEETS 10 (SITE) & 11

APPLICANT:

SCHIFF ENTERPRISES

1004 NEW ROAD
NORTHFIELD, NEW JERSEY 08225



MARATHON

Engineering & Environmental Services

553 Beckett Road, Suite 608, Swedesboro, NJ 08085
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

OWNER/APPLICANT

SCHIFF ENTERPRISES
1004 NEW ROAD
NORTHFIELD, NEW JERSEY 08225

OWNER'S INTENT

THESE PLANS HAVE BEEN PREPARED IN SUPPORT OF A SITE PLAN APPLICATION FOR THE APPROVAL OF THREE PHASES OF IMPROVEMENTS AT THE 1401 BOARDWALK PROPERTY. REFER TO INDIVIDUAL SITE PLANS FOR PROPOSED DESCRIPTION OF ACTIVITIES TO OCCUR PER PHASE.

PERMITS REQUIRED

- * C.R.D.A. PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL
- * ATLANTIC COUNTY PLANNING BOARD NON-JURISDICTIONAL DETERMINATION
- * CAPE-ATLANTIC SOILS CONSERVATION DISTRICT CERTIFICATION
- * NJDEP 5G3 - CONSTRUCTION ACTIVITY STORMWATER (GP)
- * CAFRA - PREVIOUSLY APPROVED PER FILE NO. 0102-50-0011.1, DATED DECEMBER 2005.
- * LOCAL WATER AND SEWER APPROVALS

CASINO REINVESTMENT DEVELOPMENT AUTHORITY SIGNATURE BLOCK

CRDA HEARING OFFICER	DATE
CRDA LAND USE REGULATION ENFORCEMENT OFFICER	DATE
CRDA ENGINEER	DATE
CRDA PLANNER	DATE

SHEET INDEX		
SHEET NO.	DWG. NO.	SHEET TITLE
1 OF 8	C0001	COVER SHEET
2 OF 8	C0002	INFORMATION SHEET
3 OF 8	C0101	PHASE ONE - SITE PLAN
4 OF 8	C0201	PHASE TWO - OVERALL SITE PLAN
5 OF 8	C0202	PHASE TWO - PAD ENLARGEMENT AND SITE DETAILS
6 OF 8	C0203	PHASE TWO - SCD PLAN, SCD DETAILS AND SCD NOTES
7 OF 8	C0301	PHASE THREE - SITE PLAN AND DETAILS
8 OF 8	C1101	SITE AND UTILITY DETAILS

03/30/2018	3	RE-SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
03/09/2018	2	SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
05/29/2017	1	SUBMISSION TO CRDA	LAT	JTS
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

1401 BOARDWALK PRELIMINARY AND FINAL SITE PLAN APPLICATION BLOCK 53, LOT 14 (TAX SHEET #10) CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY		MARATHON Engineering & Environmental Services Atlantic City Office 1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401 ph (609) 437-2100 fax (609) 437-2101 Certificate of Authorization #24GA27995700	
COVER SHEET		DATE BY LAT 1 OF 8	
SCHIFF ENTERPRISES 1004 NEW ROAD NORTHFIELD, NEW JERSEY 08225		APPROVED KAI	
DAVE J. FLEMING, P.E. PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 24603321600		C0001	

PROJECT NOTES

A. GENERAL SITE NOTES

- OWNER/APPLICANT: SCHIFF ENTERPRISES
1004 NEW ROAD, NORTHFIELD, NEW JERSEY 08225
CONTACT: 908-346-8271
- THESE PLANS HAVE BEEN PREPARED IN SUPPORT OF A PRELIMINARY AND FINAL SITE PLAN APPLICATION FOR THREE PROPOSED PHASES OF IMPROVEMENTS ON THE SUBJECT PROPERTY. THE PHASES INCLUDE:
 - PHASE ONE: EXISTING CONDITIONS INCLUDES THE FORMER OPERATION OF THE EXISTING USES (6 VENDOR TRAILERS / ±700 S.F.) ON THE TEMPORARY RAISED WOODEN DECK. THE EXISTING PHASE ONE ARE IN THE PROCESS OF BEING DEMOLISHED.
 - PHASE TWO: PROPOSED CONSTRUCTION OF A ±11,900 S.F. PERMANENT CONCRETE PLATFORM ATOP THE CONCRETE FOUNDATION / PILING OF THE FUTURE PHASE THREE BUILDING AND ASSOCIATED SITE IMPROVEMENTS. THE CONCRETE PLATFORM WILL BE UTILIZED FOR THE OPERATION OF PERMITTED USES IN TRAILERS OR SEMI-PERMANENT STRUCTURES. PHASE TWO INCLUDES A BULK VARIANCE REQUEST FOR MAXIMUM IMPERVIOUS COVERAGE. THE PHASE TWO WILL COMMENCE CONSTRUCTION AFTER THE DEMOLITION OF PHASE ONE WITH CONSTRUCTION COMPLETED FOR OPERATION STARTING IN THE SUMMER 2018.
 - PHASE THREE: PROPOSED CONSTRUCTION OF THE ±11,900 S.F. ONE STORY BUILDING ATOP THE CONCRETE PLATFORM CONSTRUCTED IN PHASE TWO AND THE DUMPSTER/LOADING AREA. PHASE THREE INCLUDES THE SAME BULK VARIANCE REQUEST FOR EXCEEDING MAXIMUM IMPERVIOUS COVERAGE IN PHASE TWO.
- TRACT CONSISTS OF BLOCK 53, LOT 14, AS SHOWN ON THE OFFICIAL TAX MAP OF THE CITY OF ATLANTIC CITY. THE PROPERTY HAS FRONTAGE ON TENNESSEE AVENUE AND ST. JAMES PLACE, BOTH IMPROVED.
- TRACT CONTAINS 87,344 SQUARE FEET OF LAND OR 2.005 ACRES. THE PROPERTY IS PRESENTLY IMPROVED WITH A COMMERCIAL PARKING LOT CONTAINING 144 SPACES AND THE TEMPORARY RAISED BOARDWALK AND ASSOCIATED FIVE VENDORS.
- TRACT IS ZONED RC RESORT COMMERCIAL AS INDICATED ON THE CRDA'S OFFICIAL ZONING MAP.
- A PREVIOUS USE VARIANCE AND FRONT YARD SETBACK WAS GRANTED BY THE CITY OF ATLANTIC CITY ZONING BOARD PER RESOLUTION NO. 53 OF 2005 TO ALLOW THE EXISTING TEMPORARY USES TO OPERATE ON THE TEMPORARY RAISED BOARDWALK PLATFORM.
- OUTBOUND AND TOPOGRAPHY OBTAINED FROM "OUTBOUND AND TOPOGRAPHY PLAN" OF BLOCK 53, LOT 14, PLATE 24B, CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY, PREPARED BY PENNIM ASSOCIATES, MARK CONOVER PROFESSIONAL LAND SURVEYOR LICENSE NUMBER 246503075200, DRAWING 50601 DATED DECEMBER 1, 2004, UPDATE OF THE BASE INFORMATION WAS MADE BASED ON SITE VISITS PERFORMED BY THE STAFF OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES INC. IN APRIL 2017.
- THE PROPERTY WAS ISSUED A N.J.D.E.P. P.A.R.A. PERMIT FOR THE PROPOSED CONSTRUCTION OF A 17,082 S.F. ONE STORY BUILDING WITH 2,358 S.F. ROOFDECK AND 3 PARKING SPACES PER PERMIT FILE NO. 0102-05-0011, DATED DEC. 2005. THE PERMIT IS VALID THROUGH TO JUNE 30, 2017 DUE TO THE STATE'S PERMIT EXTENSION ACT AND DUE TO CONTINUATION OF THE PROJECT INCLUDING THE INSTALLATION OF UTILITIES AND FUTURE PHASE TWO CONSTRUCTION OF THE FOUNDATION AND CONCRETE PLATFORM.
- PHASE ONE WILL NOT DISTURB THE LAND. PHASE TWO WILL INCLUDE 15,342 S.F. OF LAND DISTURBANCE THOUGH NO LAND GRADING WILL OCCUR. PHASE THREE WILL INCLUDE 944 S.F. OF LAND DISTURBANCE. AN S.C.D. PERMIT IS REQUIRED FOR THE PROJECT AND WILL BE OBTAINED PRIOR TO PHASE TWO LAND DISTURBANCE. NO STORMWATER MANAGEMENT DESIGN IS REQUIRED.
- UTILITY HOOK-UPS REQUIRED FOR ANY OF THE THREE PHASES FOR SUCH SERVICES AS GAS, ELECTRIC, TELEPHONE AND CABLE SHALL BE COORDINATED BETWEEN THE OWNER, THE CONTRACTOR, AND THE UTILITY SERVICE PROVIDER. LINES SHALL BE INSTALLED UNDERGROUND WHERE PRACTICABLE.
- WATER AND SEWER:
 - A. PHASE ONE: SANITARY SEWER OR POTABLE WATER WAS NOT PROVIDED TO THE EXISTING PHASE ONE STRUCTURES THAT HAVE BEEN SINCE REMOVED.
 - B. PHASE TWO: SANITARY SEWER LATERAL AND POTABLE WATER LATERAL CONNECTION FROM THE EXISTING INFRASTRUCTURE IN TENNESSEE AVENUE WILL BE EXTENDED TO THE PHASE TWO SLAB TO SERVICE A RESTROOM BUILDING AND RESTAURANT STRUCTURES AS NEEDED.
 - C. PHASE THREE: PLUMBING MODIFICATIONS WITHIN THE NEW ±11,900 S.F. BUILDING WILL BE REQUIRED TO SERVE ALL TENANTS SPACES. PLUMBING WILL BE PROVIDED BY THE ARCHITECT AND SUBMITTED TO THE CITY AT TIME OF BUILDING PERMITS.
- NO NEW SITE IDENTIFICATION SIGNS OR VENDOR SIGNS ARE PROPOSED AT THIS TIME. THE PLANS IDENTIFY TWO SIGN LOCATIONS THAT WILL BE INSTALLED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE PLANS AND EACH PLAN HAS BEEN REVISED TO INDICATE ISSUED FOR CONSTRUCTION.
- THIS SET OF PLANS AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS SET OF DRAWINGS MAY NOT BE COPIED, REPRODUCED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC.
- ALL BARRIER FREE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST A.D.A. AND N.J.D.O.T. STANDARDS.
- ANY VARIATIONS FROM THE PLANS MUST BE AUTHORIZED BY THE DESIGN ENGINEER AND APPROVED BY THE CITY ENGINEER.
- THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL EACH PLAN HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- CONSTRUCTION DETAILS/SHOP DRAWINGS UTILIZED BY THE CONTRACTOR SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER.
- REFER TO COMPLETE SET OF PLANS FOR ADDITIONAL INFORMATION.
- THIS SET OF DRAWINGS AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS SET OF DRAWINGS MAY NOT BE COPIED, REPRODUCED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC.
- ANY DEMOLITION MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE. NO ON-SITE BURIAL IS PERMITTED.
- THE OWNER/DEVELOPER OR DESIGNATED CONTRACTOR SHALL OBTAIN A STREET OPENING/ACCESS PERMIT FROM ATLANTIC CITY PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC STREETS, THE ATLANTIC CITY POLICE DEPARTMENT SHALL BE CONTACTED REGARDING PROVISIONS FOR ANY TRAFFIC CONTROL MEASURES THAT MAY NEED TO BE IMPLEMENTED DURING CONSTRUCTION.

B. OWNER/DEVELOPER RESPONSIBILITY NOTES

- THE DEVELOPER OR THEIR REPRESENTATIVE SHALL DESIGNATE A PERSON THAT IS KNOWLEDGEABLE OF CONSTRUCTION SAFETY STANDARDS AND IS EXPECTED TO BE AT THE CONSTRUCTION SITE ON A REGULAR BASIS. THIS PERSON SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION, DISCHARGE, AND MONITORING OF SAFETY STANDARDS AND PRACTICES AT THE SITE. THE CONTRACTOR/OWNER SHALL PROVIDE DESIGN ENGINEER WITH NAME, ADDRESS AND TELEPHONE NUMBER OF DESIGNEE. IN LIEU OF THIS INFORMATION, THE REPRESENTATIVE PERSON FROM THE CONTRACTOR'S ORGANIZATION WHO SIGNED THE CONTRACT SHALL HEREBY BE RESPONSIBLE FOR THIS FUNCTION.
- THE DEVELOPER OR THEIR REPRESENTATIVE SHALL ENSURE THAT ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT O.S.H.A. STANDARDS.
- THE DEVELOPER OR THEIR REPRESENTATIVE IS TO VERIFY WITH DESIGN ENGINEER ON WHAT PERMITS AND APPROVALS ARE PENDING OR HAVE BEEN APPROVED.
- THE DEVELOPER OR THEIR REPRESENTATIVE IS TO VERIFY AND MATCH HORIZONTAL CONTROL AND VERTICAL ELEVATIONS.
- THE DEVELOPER OR THEIR REPRESENTATIVE SHALL PERFORM ALL WORK IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND MANUFACTURERS' RECOMMENDATIONS AND STANDARDS.
- UNDERGROUND UTILITIES LOCATIONS ARE APPROXIMATE AND ARE TO BE VERIFIED IN THE FIELD BY THE OWNER/DEVELOPER OR THEIR REPRESENTATIVE AT THE TIME OF CONSTRUCTION.
- THE OWNER/DEVELOPER OR THEIR REPRESENTATIVE SHALL VERIFY IN FIELD ALL CONDITIONS AS SHOWN ON THE PLANS AND SHALL BE RESPONSIBLE FOR FIELD MEASUREMENTS FOR ALL NEW CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR ANY INFORMATION NOT SHOWN HERE.
- THE OWNER/DEVELOPER OR THEIR REPRESENTATIVE SHALL BE RESPONSIBLE FOR ALL SHORING, UNDERPINNING AND STRUCTURAL STABILITY DURING CONSTRUCTION.
- THE OWNER/DEVELOPER OR THEIR REPRESENTATIVE SHALL CALL 1-800-272-1000 FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IN THE EVENT CONDITIONS AT THE SITE ARE NOTICEABLY DIFFERENT (AT THE TIME OF CONSTRUCTION) FROM THE DOCUMENTS PROVIDED, THE CONTRACTOR AND/OR OWNER SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY.
- THE PROPOSED SITE GRADING DEPICTED IN THESE PLANS IS INTENDED TO PROVIDE A GENERAL GUIDE FOR GRADING. THE OWNER OR DESIGNATE SHALL INSTRUCT THE CONCRETE CONTRACTOR TO TAKE CARE IN SETTING FORMS FOR PEDESTRIAN AREAS TO INSURE THAT THEY CONFORM TO THE NEW JERSEY BARRIER FREE SUBCODE.
- THE DEVELOPER OR THEIR REPRESENTATIVE SHALL COMPLY WITH ALL CONDITIONS OF APPROVAL IMPOSED BY ALL REGULATORY AGENCIES HAVING JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.
- DAMAGE TO ANY EXISTING FEATURE SUCH AS, BUT NOT LIMITED TO, CONCRETE CURBS, CONCRETE WALKS, PAVING, LIGHTS, PLANTERS, SIGNS, UTILITIES OR BUILDINGS NOT SCHEDULED FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITION.
- THE DEVELOPER OR THEIR REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. § 23-23.2-21 (E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND OR 1908.32 (F) (OSHA COMPETENT PERSON).
- THE DEVELOPER OR THEIR REPRESENTATIVE IS RESPONSIBLE FOR UPGRADES TO EXISTING HANDICAPPED RAMPS AT ROADWAY INTERSECTIONS, IF REQUIRED TO BRING INTO COMPLIANCE WITH PROWAG STANDARDS.

EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

PHASE ONE ZONING SCHEDULE (Prior to Demolition)
RESORT COMMERCIAL DISTRICT (RC ZONE)

ORD. SECTION	RC ZONE	PERMITTED OR REQUIRED	EXISTING CONDITIONS	PHASE ONE PROPOSED IMPROVEMENTS	PHASE ONE CONFORMITY STATUS
19.66-5.10(a).1	PERMITTED USES	RETAIL SALES/ OUTDOOR RESTAURANTS/ RECREATION	PARKING LOT/ RETAIL SALES/ OUTDOOR RESTAURANTS/ RECREATION	NO NEW USES (RETAIN EXISTING USES)	CONFORMS
19.66-5.10(a).1.v.(1)	MAX. PRINCIPAL BLDG. HEIGHT	300 FT (Measured From BFE)	± 12 FT. (ABOVE BFE 10.0)	± 12 FT. (ABOVE BFE 10.0)	CONFORMS
19.66-5.10(a).1.v.(1)	MAX. ACCESSORY BLDG. HEIGHT	35 FT	± 6 FT. (ABOVE BFE 10.0)	± 6 FT. (ABOVE BFE 10.0)	CONFORMS
19.66-5.10(a).1.v.(2)	MIN. LOT AREA	7500 SF	87,344 S.F. ± 2.005 AC.	87,344 S.F. ± 2.005 AC.	CONFORMS
19.66-5.10(a).1.v.(3)	MIN. LOT DEPTH	150 FT	353 FT	353 FT	CONFORMS
19.66-5.10(a).1.v.(4)	MIN. LOT WIDTH	50 FT	175 FT	175 FT	CONFORMS
19.66-5.10(a).1.v.(5)	MIN. LOT FRONTAGE	50 FT	175 FT	175 FT	CONFORMS
19.66-5.10(a).1.v.(6)	MAX. BLDG. COVERAGE	70%	0.80% (A)	0.80% (A)	CONFORMS
19.66-5.10(a).1.v.(7)	MAX. IMPERVIOUS COVERAGE	80%	± 78%	± 78%	CONFORMS
19.66-5.10(a).1.v.(8)	FRONT YARD	0 FT (For Buildings Up to 35')	0 FT. (TO EXISTING TEMPORARY WOOD PLATFORM)	0 FT. (Exist. BW) 2 FT. (Exist. Trailers)	CONFORMS
19.66-5.10(a).1.v.(9)	FRONT YARD	20 FT (For Buildings Greater than 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(9)	SIDE YARD	0 FT (For Buildings Up to 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(9)	SIDE YARD	20 FT (For Buildings Greater than 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(10)	REAR YARD	20 FT	N/A	N/A	N/A
19.66-5.10(a).1.v.(11)	MAX. FLOOR AREA RATIO	N/A	N/A	N/A	CONFORMS
19.66-5.10(a).1.v.(12)	MIN. OPEN SPACE	N/A	N/A	N/A	N/A
19.66-5.10(a).1.v.(13)	MAX. DENSITY (Mid Rise)	50 DU/A	N/A	N/A	N/A
19.66-5.10(a).1.v.(13)	MAX. DENSITY (High Rise)	75 DU/A	N/A	N/A	N/A
19.66-5.8(b).1 (21)	PARKING REQUIREMENT COMMERCIAL AMUSEMENT	3.5 SPACES (1 SPACE / 200 S.F.) (200 SF/200 SF = 3.5)	144	144	CONFORMS
19.66-5.8(c)	LOADING SPACE REQUIREMENT	Not Required For Building Under 10,000 SF	N/A	N/A	N/A

FOOTNOTES:

N/A = NOT APPLICABLE STANDARD OR CONDITION

(A) BUILDING COVERAGE INCLUDES THE ±700 S.F. AREA OF EXISTING TRAILERS.

C. ROADWAY & SIGNAGE NOTES

- ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED.
- ALL ROADWAY DESIGN AND CONSTRUCTION FOR MUNICIPAL ROADS SHALL BE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE CITY OF ATLANTIC CITY AND THE NEW JERSEY RISS STANDARDS.
- ALL TRAFFIC SIGN PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED. ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY SIGN POSTS AS DETAILED AND APPROVED BY NJDOT.
- THE APPLICANT SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF 24 HOURS PRIOR TO THE START OF ANY ROAD CONSTRUCTION.
- ALL ROADWAY SUBGRADINGS SHALL BE TESTED IN ACCORDANCE WITH THE ORDINANCE. ANY DEFICIENCIES SHALL BE CORRECTED TO THE SATISFACTION OF THE CITY ENGINEER.
- ROADWAY TEST CORES SHALL BE PROVIDED IN ACCORDANCE WITH THE ORDINANCE AND WITNESSED BY THE CITY ENGINEER.
- MATERIAL PLACED AS FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOO, ROOTS, STONE (>6" DIAMETER), FROZEN SOIL AND OTHER OBJECTIONABLE MATERIALS.

D. UTILITY NOTES

- T.C. DESIGNATIONS INDICATE TOP OF CURB ELEVATIONS, T.D.C. INDICATES TOP OF DEPRESSED CURB ELEVATIONS, AND GUT. INDICATES GUTTER ELEVATIONS.
- GAS, ELECTRIC, AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH REGULATIONS OF THE LOCAL UTILITY COMPANIES AND THE CITY OF ATLANTIC CITY.
- ALL MATERIALS, METHODS AND DETAILS OF IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE REGULATIONS OF THE CITY OF ATLANTIC CITY, ATLANTIC COUNTY, AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER FOR THIS FUNCTION.
- WHERE IT IS NECESSARY TO CONNECT TO EXISTING UTILITIES WITHIN EXISTING ROADWAYS, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAW CUTTING, TRENCHING, BACKFILL, COMPACTION AND PAVING SHALL BE IN ACCORDANCE WITH ATLANTIC CITY SPECIFICATIONS, AS APPLICABLE.
- BEDDING AND BACKFILL FOR SPECIFIED PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- PIPE LENGTHS AND GRADIENTS ARE CALCULATED TO THE CENTERLINE OF SANITARY AND STORM SEWER STRUCTURES. ACTUAL PIPE LENGTH MAY BE LESS THAN CALCULATED LENGTH, AND SHOULD BE COMPUTED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN IS FURNISHED BY THE UTILITY COMPANIES OR SURVEY PLAN BY SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF MARATHON ENGINEERING & ENVIRONMENTAL SERVICES, INC. IT IS THE RESPONSIBILITY OF OWNER AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

E. SOILS DATA NOTES

- SOIL EROSION AND SEDIMENT CONTROL CERTIFICATION IS NOT REQUIRED FROM THE CAPE-ATLANTIC CONSERVATION DISTRICT SINCE THERE IS LESS THAN 5,000 SF OF DISTURBANCE FOR THE COMBINED THREE PHASES.
- SOILS DATA OBTAINED FROM THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR ATLANTIC COUNTY.
- SOIL TYPES INDICATED ON THE SITE INCLUDE:
 - PS1AT - PSAMMENTS, SULFIDIC SUBSTRATUM, 0-3% SLOPES, FREQUENTLY FLOODED, "A" TYPE SOILS

F. FLOOD HAZARD AREA NOTES

- ALL OR A PORTION OF THIS SITE LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0000 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON SITE.
- THE PROJECT SITE IS LOCATED IN FLOOD ZONE "AE10" AS MAPPED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) PRELIMINARY FIRM ATLANTIC COUNTY, NEW JERSEY 456 OF 457, MAP NO. 34001C0486F, WITH A REVISION (PRELIMINARY) DATE OF JANUARY 30, 2012. AE10 ZONE IS DEFINED AS AREA SUBJECT TO 100-YEAR FLOODING. THE BASE FLOOD ELEVATION IN THE "AE10" ZONE COVERING THE PROJECT SITE IS 10 FEET. IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988), THE BASE FLOOD ELEVATION IN "AE10" ZONE COVERING THE PROJECT SITE IS 10.33 FEET IN THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- IN ACCORDANCE WITH ATLANTIC CITY CODE, THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 2.0 FEET ABOVE THE BASE FLOOD ELEVATION. THE PROPOSED PERMANENT CONCRETE PAD IN PHASE TWO SHALL HAVE A MINIMUM ELEVATION OF 12.0.
- THE LIMIT OF THE FLOOD HAZARD AREA ON THIS SITE WAS DETERMINED USING NJDEP METHOD 2 (FEMA [N.J.A.C. 7:13-3.4(a)]).
- THE PROJECT SITE DOES NOT CONTAIN FLOODWAY OR RIPARIAN ZONE, AS DEFINED IN THE NEW JERSEY FLOOD HAZARD CONTROL ACT RULES (N.J.A.C. 7:13).

PHASE TWO ZONING SCHEDULE
RESORT COMMERCIAL DISTRICT (RC ZONE)

ORD. SECTION	RC ZONE	PERMITTED OR REQUIRED	EXISTING CONDITIONS	PHASE TWO PROPOSED IMPROVEMENTS	PHASE ONE CONFORMITY STATUS
19.66-5.10(a).1	PERMITTED USES	RETAIL SALES/ OUTDOOR RESTAURANTS/ RECREATION	PARKING LOT (Phase One Improvements will be demolished by Oct. 2017)	COMMERCIAL VENDORS (OUTDOOR RESTAURANTS/ SHOOTING GALLERY/ PENNY ARCADE/RETAIL)	CONFORMS
19.66-5.10(a).1.v.(1)	MAX. PRINCIPAL BLDG. HEIGHT	300 FT (Measured From BFE)	N/A (PHASE ONE DEMOLISHED)	± 12 FT. (Measured From BFE)	CONFORMS
19.66-5.10(a).1.v.(1)	MAX. ACCESSORY BLDG. HEIGHT	35 FT	N/A	N/A	N/A
19.66-5.10(a).1.v.(2)	MIN. LOT AREA	N/A	87,344 S.F. ± 2.005 AC.	87,344 S.F. ± 2.005 AC.	N/A
19.66-5.10(a).1.v.(3)	MIN. LOT DEPTH	N/A	353 FT	353 FT	N/A
19.66-5.10(a).1.v.(4)	MIN. LOT WIDTH	N/A	175 FT	175 FT	N/A
19.66-5.10(a).1.v.(5)	MIN. LOT FRONTAGE	N/A	175 FT	175 FT	N/A
19.66-5.10(a).1.v.(6)	MAX. BLDG. COVERAGE	N/A	0.80%	3.0%	N/A
19.66-5.10(a).1.v.(7)	MAX. IMPERVIOUS COVERAGE	80%	76%	88.4%	VARIANCE (A)
19.66-5.10(a).1.v.(8)	FRONT YARD	0 FT (For Buildings Up to 35')	0 FT.	0 FT.	CONFORMS
19.66-5.10(a).1.v.(8)	FRONT YARD	20 FT (For Buildings Greater than 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(9)	SIDE YARD	0 FT (For Buildings Up to 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(9)	SIDE YARD	20 FT (For Buildings Greater than 35')	N/A	N/A	N/A
19.66-5.10(a).1.v.(10)	REAR YARD	20 FT	N/A	N/A	N/A
19.66-5.10(a).1.v.(11)	MAX. FLOOR AREA RATIO	8.0	0.8	0.03	CONFORMS
19.66-5.10(a).1.v.(12)	MIN. OPEN SPACE	N/A	N/A	N/A	N/A
19.66-5.10(a).1.v.(13)	MAX. DENSITY (Mid Rise)	50 DU/A	N/A	N/A	N/A
19.66-5.10(a).1.v.(13)	MAX. DENSITY (High Rise)	75 DU/A	N/A	N/A	N/A
19.66-5.8(b).1 (1)+4)+21	PARKING REQUIREMENT	87 SPACES (See Chart Below)	144	147	CONFORMS
19.66-5.8(c)	LOADING SPACE REQUIREMENT	Not Required For Building Under 10,000 SF	N/A	N/A	N/A

FOOTNOTES:

N/A = NOT APPLICABLE STANDARD OR CONDITION

(A) VARIANCE IS REQUIRED FOR EXCEEDING MAXIMUM IMPERVIOUS COVER REQUIREMENT, WHEREAS A MAXIMUM OF 80% IS PERMITTED 88.4% IS PROPOSED.

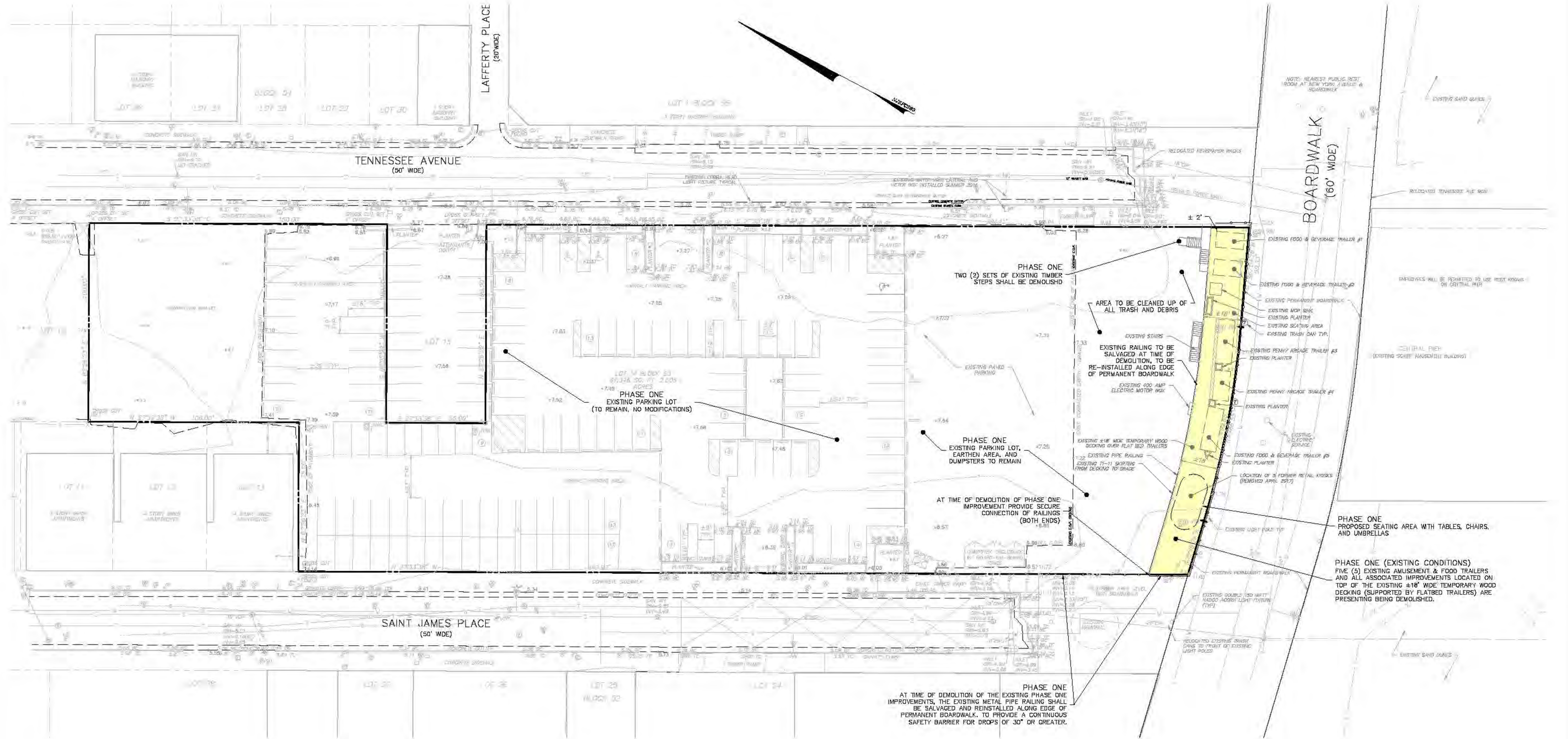
PHASE TWO ESTIMATED PARKING DEMAND

THE ESTIMATE OF REQUIRED PARKING IS BASED ON THE OVERALL OUTSIDE CONCRETE PAD AREA OF ±11,900 SF AND NOT BASED ON PROPOSED INDOOR STRUCTURE AREA. THE ACTUAL MAKE-UP OF THE VENDORS IS UNKNOWN AT THIS TIME, BUT WILL BE CONSISTENT WITH THE USES PERMITTED IN THE RESORT COMMERCIAL DISTRICT. THE ESTIMATE IS BEING PROVIDED TO DEMONSTRATE GENERAL COMPLIANCE AS IT IS ANTICIPATED A MAJORITY OF PATRONS WILL BE FROM TRAFFIC GENERATED BY PEDESTRIANS ON THE BOARDWALK.

STANDARD	REQUIRED RATE	PERCENT OF PROJECT/AREA	REQUESTED SPACES
RETAIL USES	1 SPACE/300 SF	2860 SF	8.8
COMMERCIAL AMUSEMENT	1 SPACE/200 SF	2850 SF	13.25
RESTAURANTS AND BARS	1 SPACE/150 SF	6600 SF	44.0
		11,600 SF	TOTAL = 66.05

BLOCK	LOT	PARCEL ADDRESS	OWNER NAME & ADDRESS
1	20	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
1	21	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
1	22	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
1	23	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
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1	78	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
1	79	1401 Boardwalk	City of Atlantic City 200 Boardwalk Atlantic City, NJ 08401
1	80	1401 Boardwalk	City

DATE: 03/30/2018 11:58 AM BY: DAVE J. FLEMING, P.E. 11:58 AM 03/30/2018

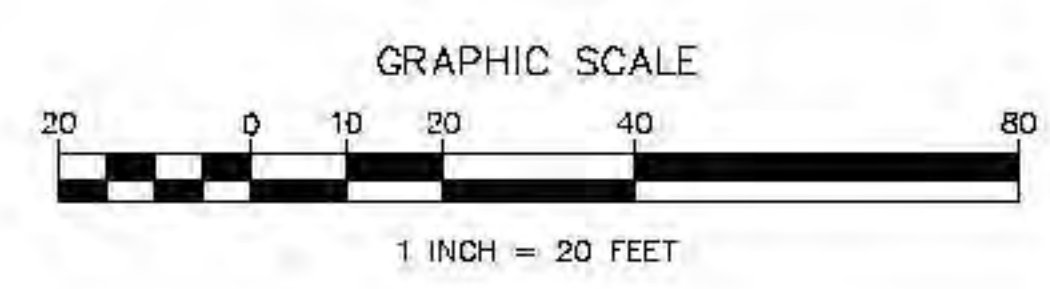


PHASE ONE NOTES:

1. PHASE ONE IS LIMITED TO THE EXISTING SITE CONDITIONS AND EXISTING USES THAT ARE PRESENTLY BEING DEMOLISHED IN ADVANCE OF PROPOSED PHASE TWO IMPROVEMENTS.
2. NO MODIFICATIONS OR ADDITIONS TO THE EXISTING USES OR STRUCTURES ARE PROPOSED IN PHASE ONE. REFER TO CHART BELOW FOR VENDOR USES.
3. THE FOLLOWING EXISTING PHASE ONE IMPROVEMENTS INCLUDED:
 - a. THE EXISTING ±18' WIDE TEMPORARY RAISED BOARDWALK AND FLAT BED SUPPORT TRUCKS.
 - b. THE FIVE AMUSEMENT AND BEVERAGE TRAILERS.
 - c. IMPROVEMENTS ASSOCIATED WITH THE AMUSEMENT & BEVERAGE TRAILERS.
 - d. TWO SETS OF REAR TIMBER STEPS.
 - e. ELECTRIC SERVICE SHALL BE DISABLED AS REQUIRED.
4. PHASE ONE DID NOT REQUIRE PERMANENT CONNECTIONS FOR PUBLIC WATER AND PUBLIC SEWER SERVICE. PUBLIC RESTROOMS ARE AVAILABLE WITHIN A REASONABLE WALKING DISTANCE FROM PHASE ONE VENDORS. NO LAND DISTURBANCE IS PROPOSED IN PHASE ONE, OR DUE TO THE DEMOLITION OF IMPROVEMENTS.
5. NO MODIFICATIONS TO THE EXISTING PARKING LOT WERE PROPOSED IN PHASE ONE.
6. THE EXISTING METAL PIPE RAILINGS SHALL BE RELOCATED TO THE EDGE OF THE PERMANENT BOARDWALK AND REJOINED TO EXISTING RAILINGS TO PROVIDE A CONTINUOUS SECURE RAILING/BARRIER.
7. NO DRAINAGE IMPROVEMENTS ARE REQUIRED FOR PHASE ONE.

TRAILER #	USE DESCRIPTION OF EXISTING TRAILERS
# 1	EXISTING OUTDOOR RESTAURANT - SUGAR SHACK
# 2	EXISTING OUTDOOR RESTAURANT - FRESH FRIES
# 3	EXISTING PENNY ARCADE/SHOOTING GALLERY
# 4	EXISTING PENNY ARCADE/SHOOTING GALLERY
# 5	EXISTING OUTDOOR RESTAURANT - MR. STEAK

NOTE: ALL TRAILERS HAVE BEEN REMOVED FROM THE TEMPORARY RAISED BOARDWALK.



03/30/2018	3	RE-SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
03/09/2018	2	SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
05/26/2017	1	SUBMISSION TO CRDA	LAT	JTS
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

1401 BOARDWALK
PRELIMINARY AND FINAL SITE PLAN APPLICATION
BLOCK 53, LOT 14 (TAX SHEET #10)
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

PHASE ONE - SITE PLAN
SCHIFF ENTERPRISES
1004 NEW ROAD
NORTHFIELD, NEW JERSEY 08226

DAVE J. FLEMING, P.E.
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24603321600

MARATHON
Engineering & Environmental Services
Atlantic City Office
1919 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
PH (800) 437-2100 FAX (800) 437-2101
Certificate of Authorization #24603321600

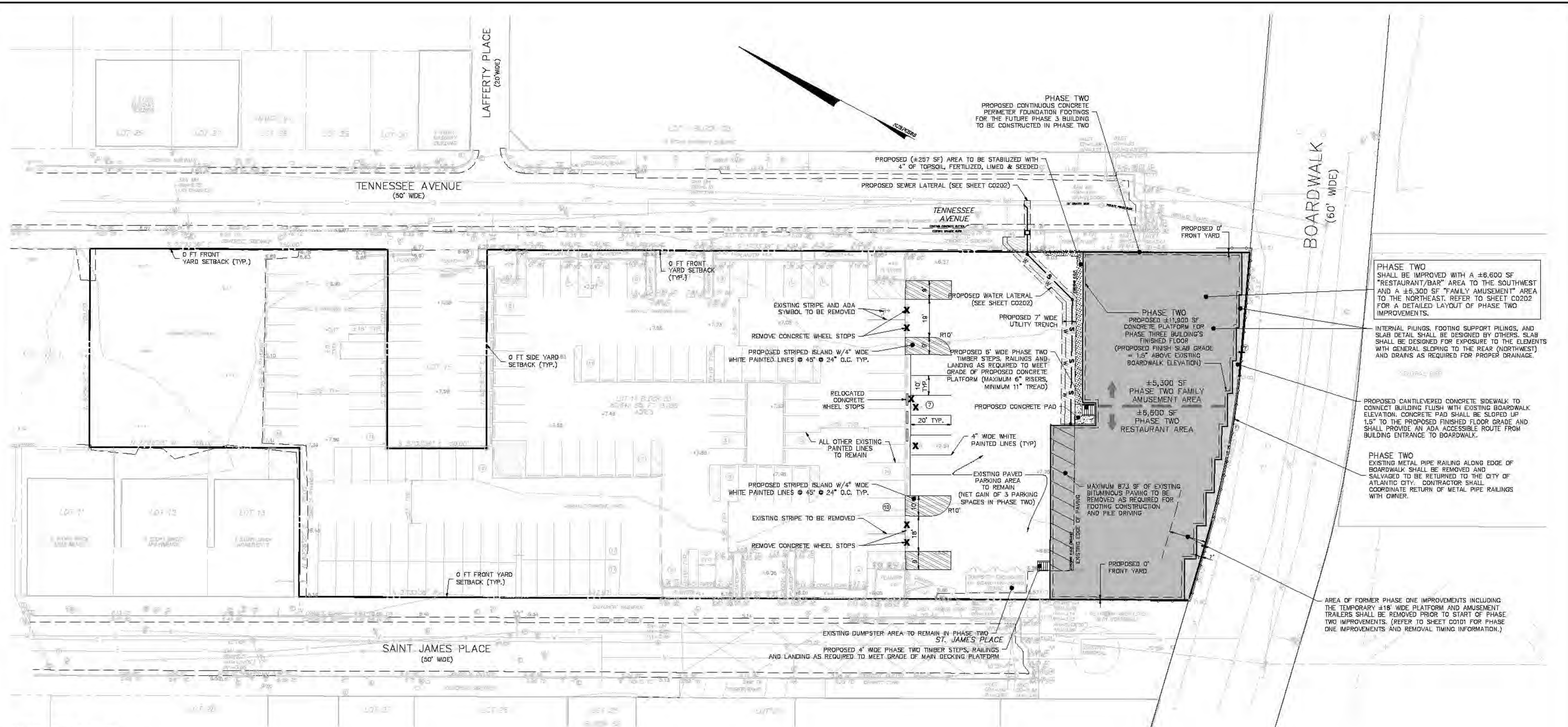
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DATE: 03/30/2018
SHEET NO. 001 OF 02

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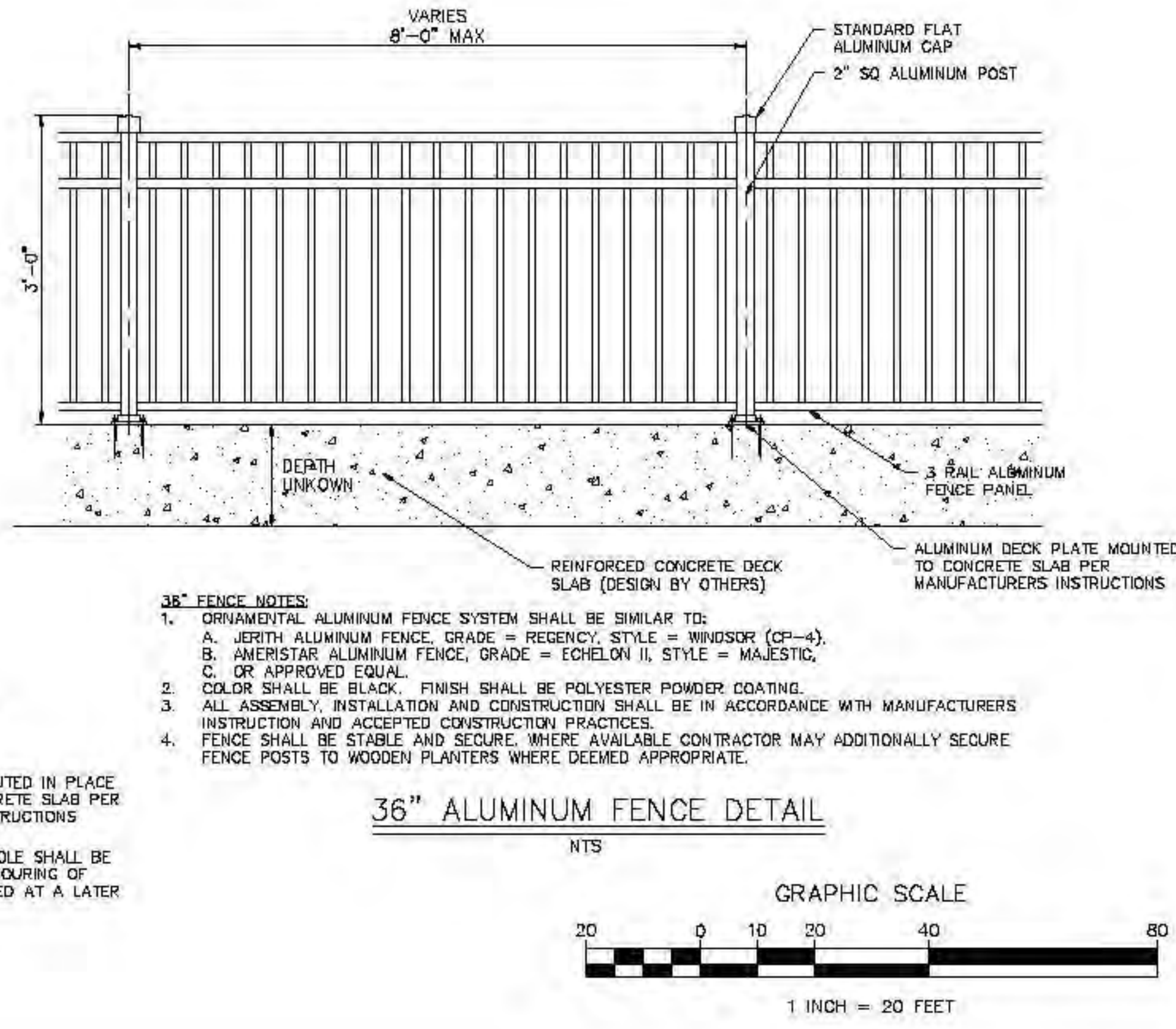
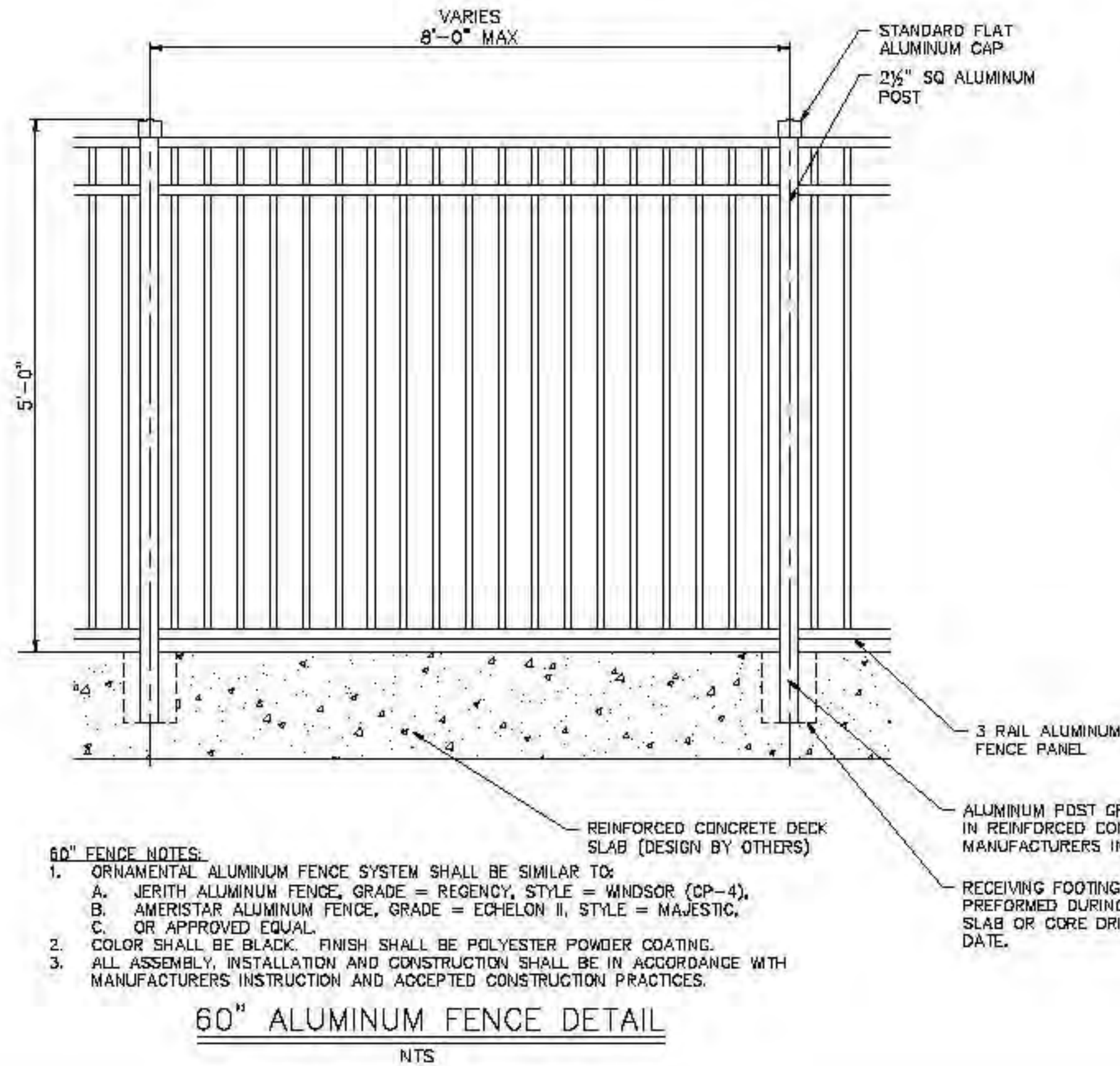
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DATE: 03/30/2018 10:00 AM BY: DAVE J. FLEMING, P.E. 1401 BOARDWALK



PHASE TWO NOTES:

1. PHASE TWO CONSTRUCTION WILL BEGIN AFTER THE DEMOLITION OF PHASE ONE IMPROVEMENTS. APPLICANT ESTIMATES PHASE TWO CONSTRUCTION WILL OCCUR AROUND MAY 2018 IN ORDER TO START OPERATIONAL USE IN SUMMER 2018.
2. THE PHASE ONE IMPROVEMENTS TO BE REMOVED PRIOR TO PHASE TWO CONSTRUCTION PRIMARILY INCLUDE: EXISTING FLAT BED SUPPORT TRUCK TRAILERS, TEMPORARY +/-18 FOOT WIDE RAISED WOODEN BOARDWALK, THE EXISTING VENDOR TRAILERS, AND ASSOCIATED RAILINGS AND PLANTERS. REFER TO SHEET C0101 FOR ADDITIONAL PHASE ONE INFORMATION.
3. PHASE TWO INCLUDES THE CONSTRUCTION OF A +/-11,900 S.F. PERMANENT CONCRETE DECK WHICH WILL SERVE AS THE FINISHED FLOOR OF THE FUTURE PHASE THREE BUILDING.
 - +/-5,600 SF OF THE SOUTHWESTERN PORTION OF THE PLATFORM WILL BE IMPROVED WITH A RESTAURANT, BAR, RESTROOM STRUCTURES, SEATING AREAS AND POTENTIAL DANCE AREA.
 - +/-5,300 SF OF THE NORTHEASTERN PORTION OF THE PLATFORM WILL BE IMPROVED WITH INDIVIDUAL VENDORS PROVIDING FAMILY GAMES, AMUSEMENTS AND FOOD WITH SEATING AREAS.
4. THE CONCRETE DECK WILL BE CONSTRUCTED ATOP A CONTINUOUS PERIMETER CONCRETE FOOTING TO BE SET ON PILES AS WELL AS +/-35 INTERNAL SUPPORT PILES. PHASE TWO ALSO INCLUDES THE INSTALLATION OF RAISED PLANTERS, DECORATIVE FENCING, SAFETY RAILINGS, PARKING LOT RE-STRIPING FOR A NET GAIN OF 3 PARKING SPACES, STRIPED LOADING AREA, TEMPORARY TIMBER STEPS, CONCRETE PAD CONNECTION TO BOARDWALK, AND STABILIZATION OF EARTHEN AREA.
5. THE APPLICANT PROPOSES TO OPERATE PROPOSED PERMITTED USES IN THE RESORT COMMERCIAL DISTRICT SUCH AS, BUT NOT LIMITED TO: RESTAURANTS, BEVERAGES, ICE CREAM, RETAIL, AND AMUSEMENTS & GAMES.
6. A BULK VARIANCE IS REQUESTED FROM EXCEEDING THE 80% MAXIMUM IMPERVIOUS COVER REQUIREMENT.
7. THE FINISHED FLOOR ELEVATION FOR THE CONCRETE SLAB SHALL BE SET 1.5' ABOVE THE EXISTING WOODEN BOARDWALK ELEVATION. THE CONCRETE SIDEWALK CONNECTION BETWEEN THE CONCRETE PLATFORM AND THE EXISTING BOARDWALK SHALL BE AT A MINIMUM SLOPE OF 1.5%. THE CONCRETE SIDEWALK CONNECTION SHALL HAVE A MAXIMUM SLOPE OF 2% WITHIN THE FIVE FOOT DEEP LANDING AREA DIRECTLY IN FRONT OF THE DOOR IN ACCORDANCE WITH CURRENT BARRIER-FREE ACCESSIBILITY SUBCODE. A MAXIMUM THRESHOLD HEIGHT OF 1/4" (ONE QUARTER INCH) SHALL BE PROVIDED. DETAILS FOR THE CONCRETE PLATFORM AND CONCRETE SIDEWALK CONNECTION SHALL BE DESIGNED BY OTHERS. DESIGN SHALL PROVIDE PROPER DRAINAGE AT SLAB.
8. THE DESIGN OF THE GENERAL SLAB SHALL BE BY OTHERS.
9. APPLICANT PROPOSES THE EXTENSION OF A POTABLE WATER LATERAL AND SANITARY SEWER LATERAL FROM EXISTING UTILITY INFRASTRUCTURE IN TENNESSEE AVENUE UTILITY WILL SERVICE THE PROPOSED RESTROOM AND RESTAURANT BUILDINGS AS REQUIRED.
10. CONSTRUCTION DETAILS FOR TIMBER STEPS TO BE PROVIDED BY OTHERS AND SUBMITTED TO THE CITY CONSTRUCTION OFFICE FOR APPROVAL PRIOR TO CONSTRUCTION.
11. PROPOSED AREAS TO BE STABILIZED WITH SEED SHALL UTILIZE A MIXTURE OF TALL FESCUE (3 SPECIES AT 33.3% EACH) AT A RATE OF 10 LBS./1,000 S.F. AREA SHALL BE WATERED IMMEDIATELY FOLLOWING SEEDING AND CONTINUED TO BE WATERED FOR A PERIOD OF NO LESS THAN 3 WEEKS AFTER SEEDING IN ORDER TO MAINTAIN A MOIST GROWING MEDIUM FOR PROPER GERMINATION.
12. PHASE TWO INCLUDES A TOTAL SITE DISTURBANCE AREA OF 15,342 S.F. (0.352 ACRES) WHICH INCLUDES CONSTRUCTION OF THE PERIMETER FOUNDATION, INSTALLATION OF THE INTERNAL BUILDING SUPPORT PILES, AND EXISTING PAVEMENT REMOVAL. NO GRADING IS PROPOSED IN ASSOCIATION WITH PHASE TWO IMPROVEMENTS.
13. PROPOSED USES WILL UTILIZE THE EXISTING FENCED DUMPSTER.
14. THE EXISTING ELECTRICAL SERVICE FOR THE PHASE ONE BUSINESSES WILL BE RELOCATED TO TEMPORARILY SERVICE THE PHASE TWO VENDORS.



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1401 BOARDWALK
PRELIMINARY AND FINAL SITE PLAN APPLICATION
BLOCK 53, LOT 14 (TAX SHEET #10)
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

PHASE TWO - OVERALL SITE PLAN

SCHIFF ENTERPRISES
1024 NEW ROAD
NORTHFIELD, NEW JERSEY 08225

DAVE J. FLEMING, P.E.
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24603321800

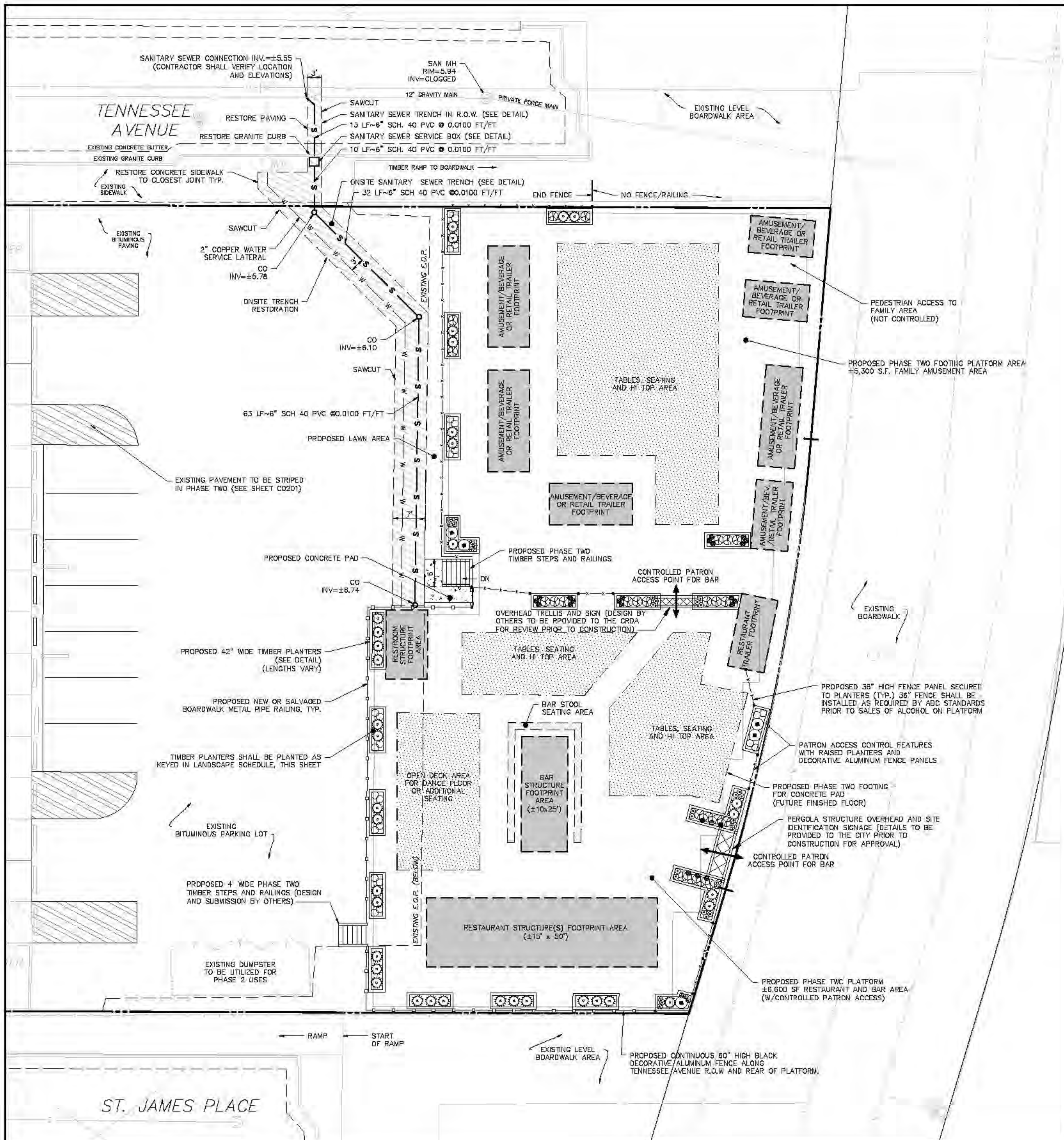
03/30/2018
SIF 001.02

MARATHON
Engineering & Environmental Services
Atlantic City Office
1818 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
PH (609) 487-2100 FAX (609) 437-2181
Certificate of Authorization: B040437066700

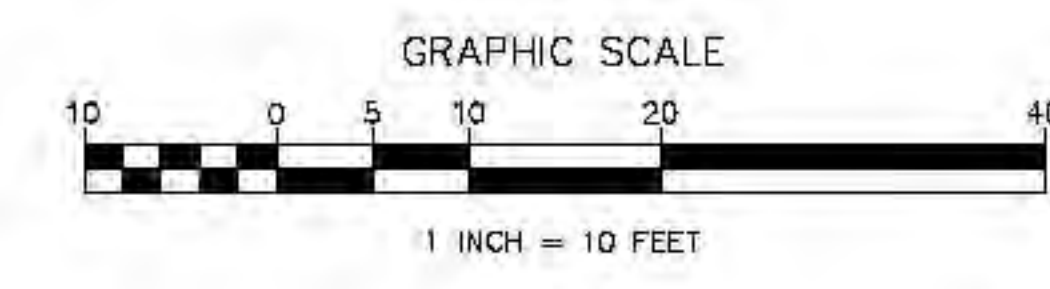
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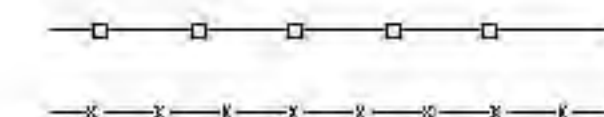
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LEGEND



PROPOSED 60\"/>

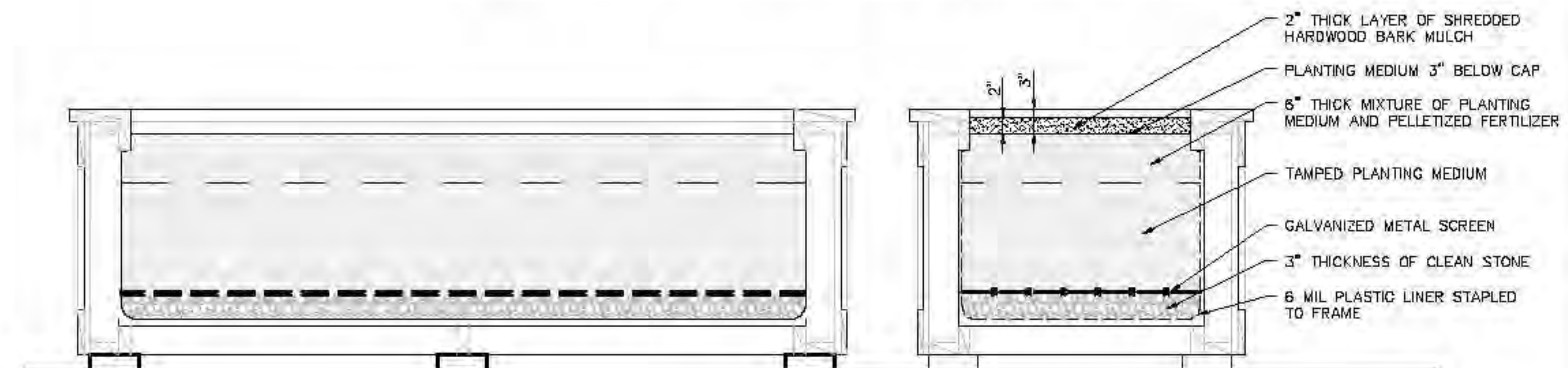
PROPOSED 36\"/>

NOTE: TYPICAL EXISTING BOARDWALK STYLE SILVER PAINTED METAL PIPE RAILING SHALL BE SALVAGED AND RETURNED TO THE CITY OF ATLANTIC CITY. CONTRACTOR SHALL COORDINATE STORAGE AND RETURN OF SALVAGED EXISTING METAL RAILING WITH APPLICANT AND CITY.

LANDSCAPE SCHEDULE						
QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
16	⊙	Delosperma cooperi	Cooper Hardy Ice Plant	Full	#1 Can	12\"/>
17	⊙	Delosperma "Fire Spinner"	"Fire Spinner" Ice Plant	Full	#1 Can	12\"/>
36	⊙	Juniperus chinensis "Spartan"	"Spartan" Juniper	3'-4'	#5 Can	30"-36\"/>
5	⊙	Juniperus squamata expansa "Parsonii"	Parson's Juniper	18"-24"	#3 Can	30\"/>
24	⊙	Miscanthus sinensis "Little Zebra"	"Little Zebra" Dwarf Japanese Silver Grass	Full	#2 Can	18\"/>
24	⊙	Nandina domestica "Fire Power"	"Fire Power" Heavenly Bamboo	18"-24"	#3 Can	24\"/>
24	⊙	Pennisetum alopecuroides "Piglet"	"Piglet" Fountain Grass	Full	#1 Can	12\"/>

PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIAL, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENTS.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY-FOLIATED VIGOROUS ROOT SYSTEM AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL DRAINAGE CONDITION CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE FOR A GROWTH GUARANTEE OF A MINIMUM OF ONE (1) GROWING SEASON FOR SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANT SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. INsofar as it is PRACTICAL, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
7. QUALITY AND SIZE OF PLANTS, SPREAD ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60 (REV. 1980) AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN SPECIFIED POTTING SOIL MIX THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, ETC. SHALL BE USED FOR PLANTING.
9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES.
10. SET ALL PLANTS PLUMB AND STRAIGHT AND AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND'S SURFACE WILL BE ESTABLISHED.
11. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING.
12. EACH PLANT SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE WITH CLEAN SHARP TOOLS. CUTS OVER 3/4\"/>
13. ALL PLANTERS TO RECEIVE 2\"/>
14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATIONS OF ALL PLANTED MATERIAL QUANTITIES. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. PLAN HOLDS PRECEDENCE.
15. CONTRACTOR SHALL COORDINATE ALL WORK WITH APPROPRIATE CITY AGENCIES AND UTILITIES COMPANIES.



- PLANTING MEDIUM NOTES:
1. PLANTING MEDIUM SHALL CONSIST OF A THOROUGHLY MIXED MIXTURE OF 25% ORGANIC COMPOST, 25% POTTING SOIL WITH PERLITE, 25% CLEAN COARSE SAND, AND 25% PEAT MOSS.
 2. A SLOW RELEASE PELLETTIZED FERTILIZER SHALL BE INCORPORATED INTO THE TOP 6 INCHES OF THE PLANTING MEDIUM. RATE SHALL BE PER MANUFACTURER'S RECOMMENDATION FOR CONTAINER PLANTINGS.
 3. PLANTING MEDIUM SHALL BE FIRMLY TAMPED IN 8\"/>

PLANTING DETAIL

N.T.S.

330 R Black Commercial Medium Suspended Socket String Light & LED S14 Premium Warm White Bulbs

- Kit comes with 165 of the LED S14 Premium bulbs (0.55 watts each).
- Kit includes one reel and 165 bulbs.
- Bulb size: 1.75\"/>
- Average bulb life: 30,000 hours.
- Not dimmable
- Made in
- Weather-resistant, break-resistant durable plastic.
- Medium base is 1\"/>
- If one bulb burns out, the reel stay lit.
- 24\"/>
- Maximum run is 1800 watts. With LED bulbs, you can use the entire reel.
- The sockets have suspenders which hang 4\"/>
- This reel DOES NOT come with plugs. It is intended to be hard-wired to a power source or you can attach your own plugs.
- Manufactured with 18-gauge wire and high-quality sockets.
- PVC socket forms a tight weatherproof seal around the bulb.
- For indoor or outdoor use and typically permanent installation.
- Light strings shall be professionally installed by an electrician.
- Lights shall be permanently mounted to structures per manufacturer's recommendations. Manufacturer's recommended maximum overall length on one line shall be followed. Manufacturer's recommended distances between support structures shall be followed.
- Lights shall be set on timers with the ability to provide approximately 25% of the lights to operate in the closed hours for security purposes (and 75% to be off during closed hours).
- Assembly required. Bulbs will need to be screwed in.



LIGHTING DETAIL

N.T.S.

03/30/2018	3	RE-SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
03/09/2018	2	SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
05/26/2017	1	SUBMISSION TO CRDA	LAT	JTS
ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.

1401 BOARDWALK
PRELIMINARY AND FINAL SITE PLAN APPLICATION
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY
PHASE TWO - PAD ENLARGEMENT AND DETAILS
SCHIFF ENTERPRISES
1004 NEW ROAD
NORTHFIELD, NEW JERSEY 08225
DAVE J. FLEMING, P.E.
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24503321600
03/30/2018
SIF DRI 02

MARATHON
Engineering & Environmental Services
Atlantic City Office
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401
PH (856) 437-2100 FAX (856) 437-2101
Certificate of Authorization #246427985700
SCALE: AS SHOWN
DATE: 03/30/2018
SHEET: 5 OF 8
PROJECT: C0202

GENERAL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, JANUARY 2014.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR THE EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAPE-ATLANTIC CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TREE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
13. ALL DRAINAGE OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE FILTER FABRIC (SEE DETAIL). THE WATER QUALITY BASIN MUST BE DEWATERED TO NORMAL FOR ALL SEVERE WEATHER DURING THE DESIGN STORM.
14. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
15. MULCHING IS REQUIRED ON ALL SEEDING AREAS TO ENSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
16. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
17. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
18. THE CAPE ATLANTIC CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
19. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
20. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER, STABILIZED TOPSOIL, FILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
21. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAPE ATLANTIC CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
22. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4.0 OR LESS.
23. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDERS).
24. MAXIMUM SOIL MULCHES ON EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
25. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF 1% SODIUM CHLORIDE.
26. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
27. USE STABILIZED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
28. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
29. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPE PLAN.
30. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
31. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT.

CAPE ATLANTIC CONSERVATION DISTRICT
8200 OLD HAWKING HIGHWAY
MAYS LANDING, NJ 08330
(609) 825-3144 OR (609) 825-7000 EXT. 9154
FAX: (609) 825-7360

WORK HOURS AND NOISE CONTROL

1. CONSTRUCTION HOURS
A. MONDAY THRU FRIDAY: 7:00AM-6:00PM
B. SATURDAY: 8:00AM-4:00PM
C. SUNDAYS: NO WORK TO BE PERFORMED.
2. THE HOURS STATED SHALL BE ADHERED TO UNLESS DUE TO WEATHER AND/OR SCHEDULE CHANGES, THE CITY OF ABERDEEN SHALL BE NOTIFIED IN ADVANCE.
3. NOISE CONTROL EQUIPMENT TO BE UTILIZED SHALL BE STANDARD EARTH MOVING EQUIPMENT, CRANES, MIXERS, ETC. WHICH MEET STANDARDS ESTABLISHED BY STATE AND FEDERAL LAWS REGARDING THE AMOUNT OF NOISE PRODUCED.

DETAILED CONSTRUCTION SEQUENCE

1. CONSTRUCT TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.
A. PLACE STABILIZED CONSTRUCTION ENTRANCE WHERE INDICATED ON PLAN.
B. PLACE AND INLET PROTECTION FOR EXISTING INLETS WHERE INDICATED ON PLAN.
C. INSTALL FILINGS AND CONSTRUCT FOOTING AND BACKFILL FOR BUILDING FINISHED CONCRETE PAD.
D. INSTALL UNDERGROUND UTILITIES.
E. COLLECT ALL SILT AND SEDIMENT, PLACE BACK ON SITE.
F. REMOVE SOIL CONSTRUCTION MEASURES.

TEMPORARY VEGETATION

1. TEMPORARY VEGETATIVE COVER, PRIOR TO HALTING CONSTRUCTION FOR PERIODS LONGER THAN 30 DAYS AND DURING THE OFF SEASON, THE CONTRACTOR SHALL STABILIZE WITH TEMPORARY VEGETATIVE COVER ALL EXPOSED SOILS.
2. TEMPORARY VEGETATIVE COVER SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS AND MATERIALS:
A. SEEDING PREPARATION - THE CONTRACTOR SHALL APPLY PULVERIZED DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS/ACRE, APPLY 10-20-10 OR EQUIVALENT WITH 50% INSOLUBLE NITROGEN FERTILIZER AT THE RATE OF 500 POUNDS/ACRE OR 11 LBS/1000 SQUARE FEET, THE LIME AND FERTILIZER SHALL THEN BE "WORKED" INTO THE SOIL TO A DEPTH OF 4" WITH A DISC, SPRINGTOOTH HARKOW OR OTHER SUITABLE EQUIPMENT.
B. SEEDING - SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS, DURING COOL SEASON APPLIED AT THE RATE OF 1 POUND/1000 SQUARE FEET OR 100 LBS./ACRE OR PERennial MULCH AT THE RATE OF 20 LBS./ACRE OR 0.5 LBS./1000 SQUARE FEET DURING WARM SEASON PLANTING.
C. MULCHING - MULCHING IS REQUIRED ON ALL SEEDING THE CONTRACTOR SHALL MULCH ALL NEWLY SEEDING AREAS WITH UNWEIGHTED SMALL GRASS STRAW HAY FREE OF SEEDS, AT THE RATE OF 70-90 POUNDS PER 1000 SQUARE FEET. IT SHALL BE ANCHORED THROUGH THE USE OF THE PEG AND TWINE METHOD, MULCH NETTINGS, CRUMPER, OR LIQUID MULCH BINDERS AS SPECIFIED IN THE 2014 STANDARDS. CONTRACTOR MAY ALSO USE WOOD FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,000 LBS./ACRE OR PELLETED MULCH AT THE RATE OF 60-75 LBS/1000 SQUARE FEET AND ACTIVATED WITH 2 TO 4 INCHES OF WATER.
D. SEEDING DATE - SEEDING DATES FOR TEMPORARY VEGETATION SHALL OCCUR DURING FEBRUARY 15 AND MAY 1 OR BETWEEN AUGUST 15 AND OCTOBER 15 FOR COOL SEASON GRASSES AND BETWEEN MAY 1 AND SEPTEMBER 1 FOR WARM SEASON GRASSES.

TEMPORARY MULCH STABILIZATION

1. SITE PREPARATION:
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, JANUARY 2014, STANDARDS 11 THROUGH 42.
2. PROTECTIVE MATERIALS:
A. UNWEIGHTED SMALL-GRASS STRAW, AT 2.0 TO 3.0 TONS PER ACRE, IS SPREAD UNIFORMLY AT 80

- TO 115 LBS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
- B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN THE QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- C. WOOD-FIBER OR PAPER FIBER MULCH AT THE RATE OF 1,500 POUND PER ACRE (OR ACCORDING TO MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY HYDROSEEDER.
- D. MULCH NETTING, SUCH AS PAPER ATE, EXCELSDOP BOTTOM, OR PLASTIC MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER WOULD WASH THEM INTO AN INLET AND BEEN BELOW THE MULCH.
- F. GRAVEL, OR CRUSHED STONE, OR SLAB AT THE RATE OF 8 CUBIC YARDS PER 1000 SQUARE FEET APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS REQUIRED UNLESS OTHERWISE APPROVED.
3. MULCH ANCHORING - SHOULD BE ANCHORED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING ON THE UPON, THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPES:
A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
B. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOVED.
C. CRUMPER, MULCH ANCHORING COLLATER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE REQUIRES MAXIMUM EROSION CONTROL BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES, ON AVERAGE.
D. LIQUID MULCH BINDER
1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT THE CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
2. USE OF ONE OF THE FOLLOWING:
a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE POLYMERS ARE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
b. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

PERMANENT VEGETATION

1. PERMANENT VEGETATION, IMMEDIATELY FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL STABILIZE WITH PERMANENT VEGETATIVE COVER, ALL EXPOSED AND DISTURBED SOILS.
2. PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED AS SPECIFIED BELOW:
A. TOPSOILING - THE CONTRACTOR SHALL PREPARE AREAS TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF 8". TOPSOIL SHALL BE FRIABLE AND LOAMY AND OF GOOD QUALITY.
B. SEEDING PREPARATION - IMMEDIATELY FOLLOWING TOPSOILING, THE CONTRACTOR SHALL APPLY PULVERIZED DOLOMITIC LIMESTONE AT THE RATE OF 80 POUNDS PER 1,000 SQUARE FEET AND FERTILIZER (10-20-10) AT THE RATE OF 14 POUNDS PER 1,000 SQUARE FEET. THE LIME AND FERTILIZER SHALL THEN BE "WORKED" INTO THE SOIL TO A DEPTH OF 4" WITH A DISC, SPRINGTOOTH HARKOW OR OTHER SUITABLE EQUIPMENT.
C. SEEDING - (4:1) MIXTURE SEED (SEE BELOW) IF SOD IS USED SEE SOD SPEC. SEEDING OF 4:1 MIXTURE SHALL BE APPLIED AT THE RATE OF 20 LBS/ACRE OR 0.5 LBS/1000 SQUARE FEET. THE PEG AND TWINE METHOD, THE PEG AND TWINE METHOD OF MULCH ANCHORING SHALL BE USED TO ANCHOR MULCH TO THE SOIL SURFACE. MULCH SHALL BE APPLIED AT THE RATE OF 70-90 POUNDS PER 1,000 SQUARE FEET. IT SHALL BE ANCHORED THROUGH THE USE OF THE PEG AND TWINE METHOD, MULCH NETTINGS, CRUMPER, OR LIQUID MULCH BINDERS AS SPECIFIED IN THE 2014 STANDARDS. CONTRACTOR MAY ALSO USE WOOD FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,000 LBS./ACRE OR PELLETED MULCH AT THE RATE OF 60-75 LBS/1000 SQUARE FEET AND ACTIVATED WITH 2 TO 4 INCHES OF WATER.
D. SEEDING DATE - SEEDING DATES FOR PERMANENT VEGETATION SHALL OCCUR BETWEEN MARCH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND NOVEMBER 15. IF SEED IS NOT PLANTED WITHIN THESE DATES, THE CONTRACTOR SHALL STABILIZE WITH MULCH AS SPECIFIED ABOVE.
E. SEEDING DATES - SEEDING DATES FOR PERMANENT VEGETATION SHALL OCCUR BETWEEN MARCH 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND NOVEMBER 15. IF SEED IS NOT PLANTED WITHIN THESE DATES, THE CONTRACTOR SHALL STABILIZE WITH MULCH AS SPECIFIED ABOVE.

#3 MIXTURE (LAWN) LBS/ACRE LBS/1000 S.F.

HARD FESCUE 280 0.5

KENTUCKY BLUEGRASS (BLENDED) 20 0.5

PERENNIAL RYEGRASS 20 0.5

SEEDING DATES 2/15 TO 4/30 AND 8/15 TO 10/30.

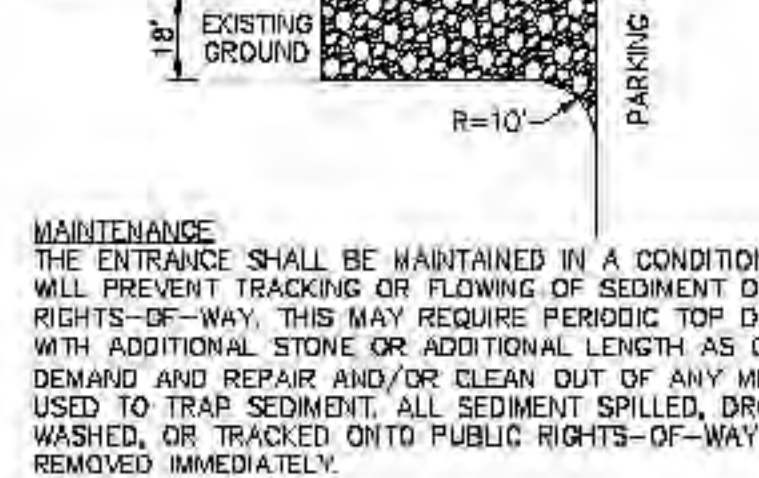
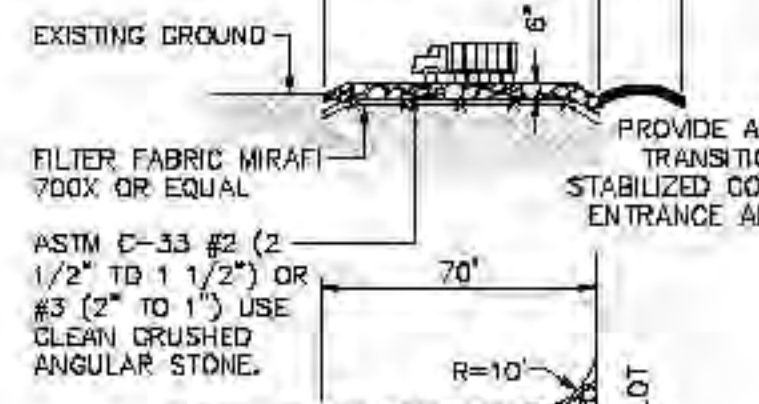
IF HYDROSEEDING IS USED ALL SEEDING RATES SHALL BE INCREASED BY 25% IF SODDING IS USED SEE SOD SPECIFICATIONS.

SOD (IF SOD IS USED THE FOLLOWING SPECIFICATION SHALL BE USED)

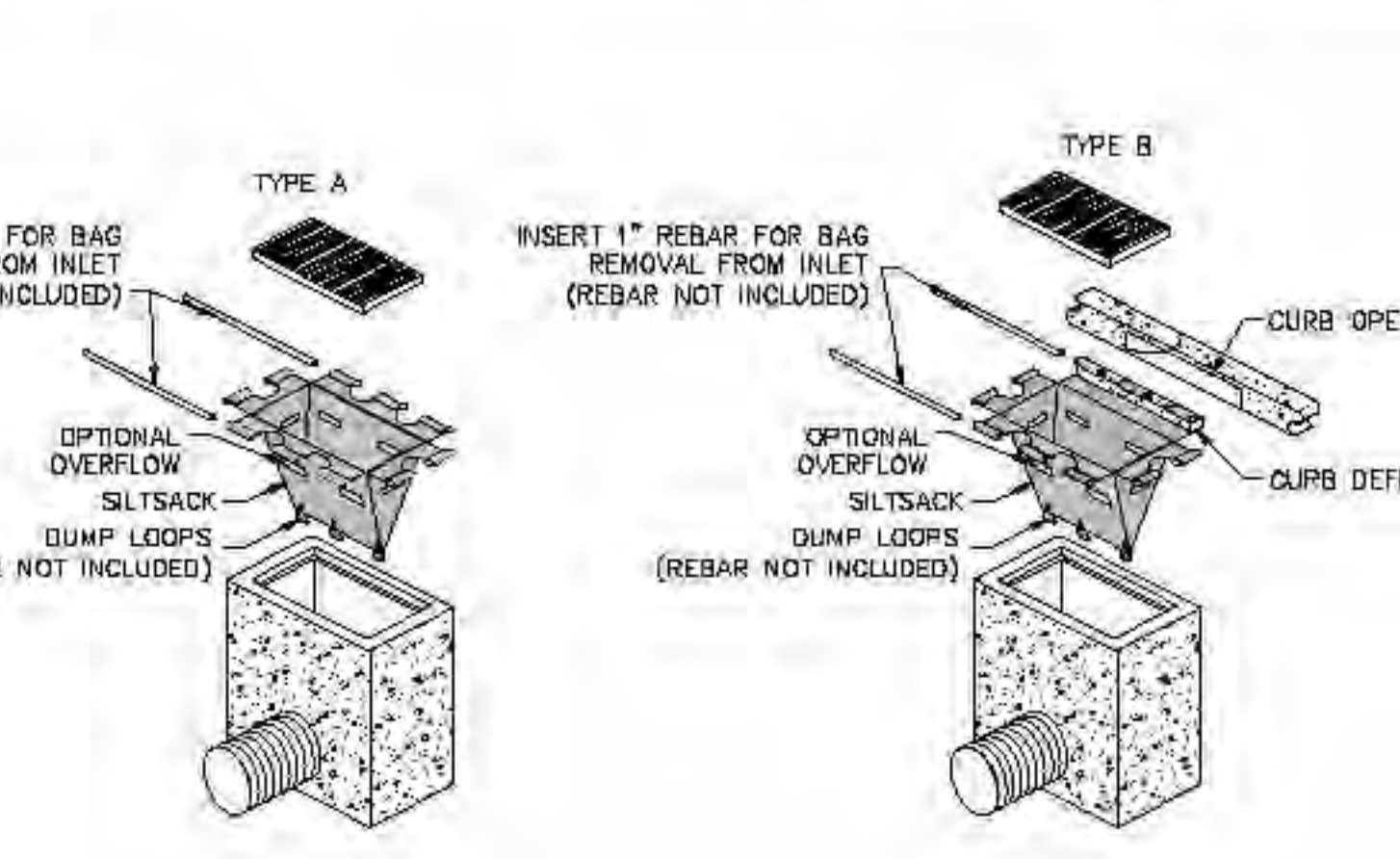
1. CULTIVATED SOD IS PREFERRED OVER NATIVE SOD. SPECIFY "CERTIFIED SOD", OR OTHER HIGH QUALITY CULTIVATED SOD.
2. SOD SHOULD BE FREE OF BROADLEAF WEEDS AND UNDESIRABLE COARSE AND FINE WEED GRASSES.
3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 3/8" INCH, PLUS OR MINUS 1/4" INCH, AT TIME OF CUTTING (EXCLUDES TOP GROWTH).
4. SOD SHOULD BE UNWEIGHTED AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASS FROM THE UPPER 10 PERCENT OF THE STRIP, BROKEN PADS OR TORN OR UNEVEN EDGES WILL NOT BE ACCEPTED.
5. FOR DROUGHTY AREAS, A SOD OF TURF-TYPE TALL FESCUE OR TURF-TYPE TALL FESCUE MIXED WITH KENTUCKY BLUEGRASS IS PREFERRED OVER 100% KENTUCKY BLUEGRASS SOD.
6. ONLY MOIST, FRESH, UNWEIGHTED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 24 HOURS.
7. SITE PREPARATION:
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIME, FERTILIZING, INCORPORATION OF ORGANIC MATTER AND OTHER SOIL PREPARATION PROCEDURES. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
B. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. SEE THE STANDARD FOR TOPSOILING.
C. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
8. SOIL PREPARATION:
A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE ANALYSES ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, INSTEAD OF SOIL TESTING, FERTILIZER AT THE RATE OF 200 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH A 50% WATER SOLUBLE NITROGEN UNLESS SOIL TESTS INDICATE OTHERWISE AND INCORPORATED 4 INCHES INTO THE SOIL WITH A DISC, SPRINGTOOTH HARKOW OR OTHER SUITABLE EQUIPMENT. UNLESS SOIL TESTING INDICATES OTHERWISE, CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIVING MATERIALS TO NEUTRALIZE SOIL ACIDITY.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

THIS PROJECT DOES NOT INCLUDE ANY AREAS THAT WILL BE DISTURBED AND RESTORED TO PVIOUS SURFACES OUTSIDE 12 FEET FROM THE PROPOSED BUILDING FOUNDATION WALL. THEREFORE THIS PROJECT WILL NOT REQUIRE SOIL COMPACTION TESTING OR SOIL MITIGATION MEASURES.



STABILIZED CONSTRUCTION ENTRANCE DETAIL N.T.S.



TYPICAL INLET SILT SACK DETAIL N.T.S.

DUST CONTROL

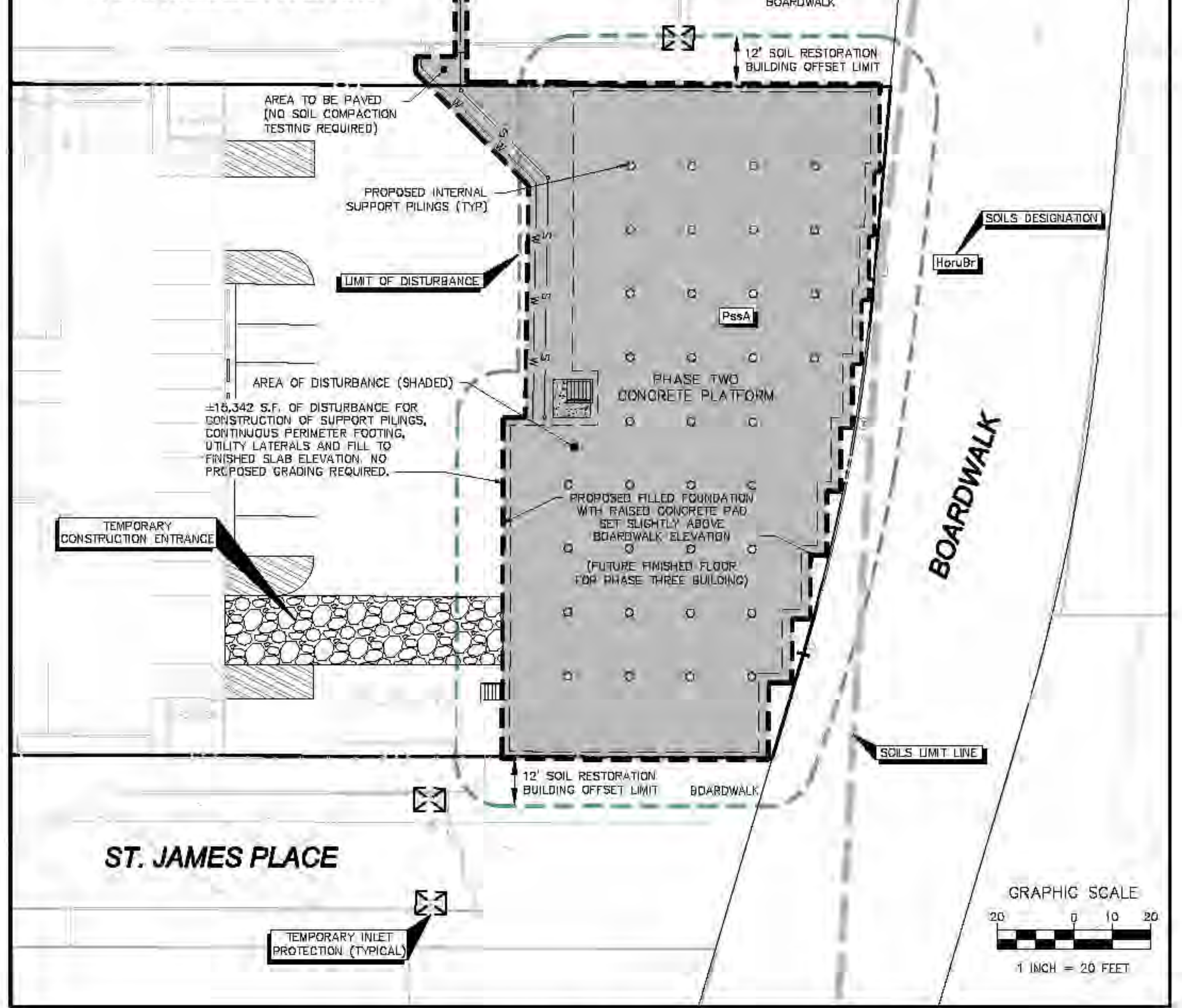
DUST CONTROL SHALL BE ACCOMPLISHED BY THE METHODS DESCRIBED BELOW.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/AC
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD			
ADULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

1. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARKOW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARKOWING OR DISING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FIRM SEEDBED IS PREPARED.
2. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOS, LUMPS OR OTHER UNSUITABLE MATERIAL.
3. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
4. SOD PLACEMENT:
A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOIL DURING PERIODS OF HIGH TEMPERATURE. LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
B. PLACE SOD STRIPS WITH GAPS, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAY SOD. JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS.
D. ON SLOPES GREATER THAN 3:1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, BIODEGRADABLE PLASTIC SPIKES, OR SPLIT SHIMMELS (8" TO 10" LONG BY 3/4" WIDE).
E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY ATE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE EDGES OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER.
F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 1 INCH. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
5. TOPDRESSING:
A. SOD SHOULD BE FRIABLE (1). LOAMY (2). FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 1.5 MILLIMHO PER CENTIMETER). GROWTH OF A VIGOROUS VEGETATIVE COVER IS FACILITATED BY TOPSOIL, PREVENTING SOIL LOSS BY WIND AND RAIN OFFSITE AND INTO STREAMS AND OTHER STORMWATER CONVEYANCES. REVEGETATED.

1. METHODS AND MATERIALS:
A. MATERIALS
1. TOPSOIL SHOULD BE FRIABLE (1). LOAMY (2). FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 1.5 MILLIMHO PER CENTIMETER). GROWTH OF A VIGOROUS VEGETATIVE COVER IS FACILITATED BY TOPSOIL, PREVENTING SOIL LOSS BY WIND AND RAIN OFFSITE AND INTO STREAMS AND OTHER STORMWATER CONVEYANCES. REVEGETATED.

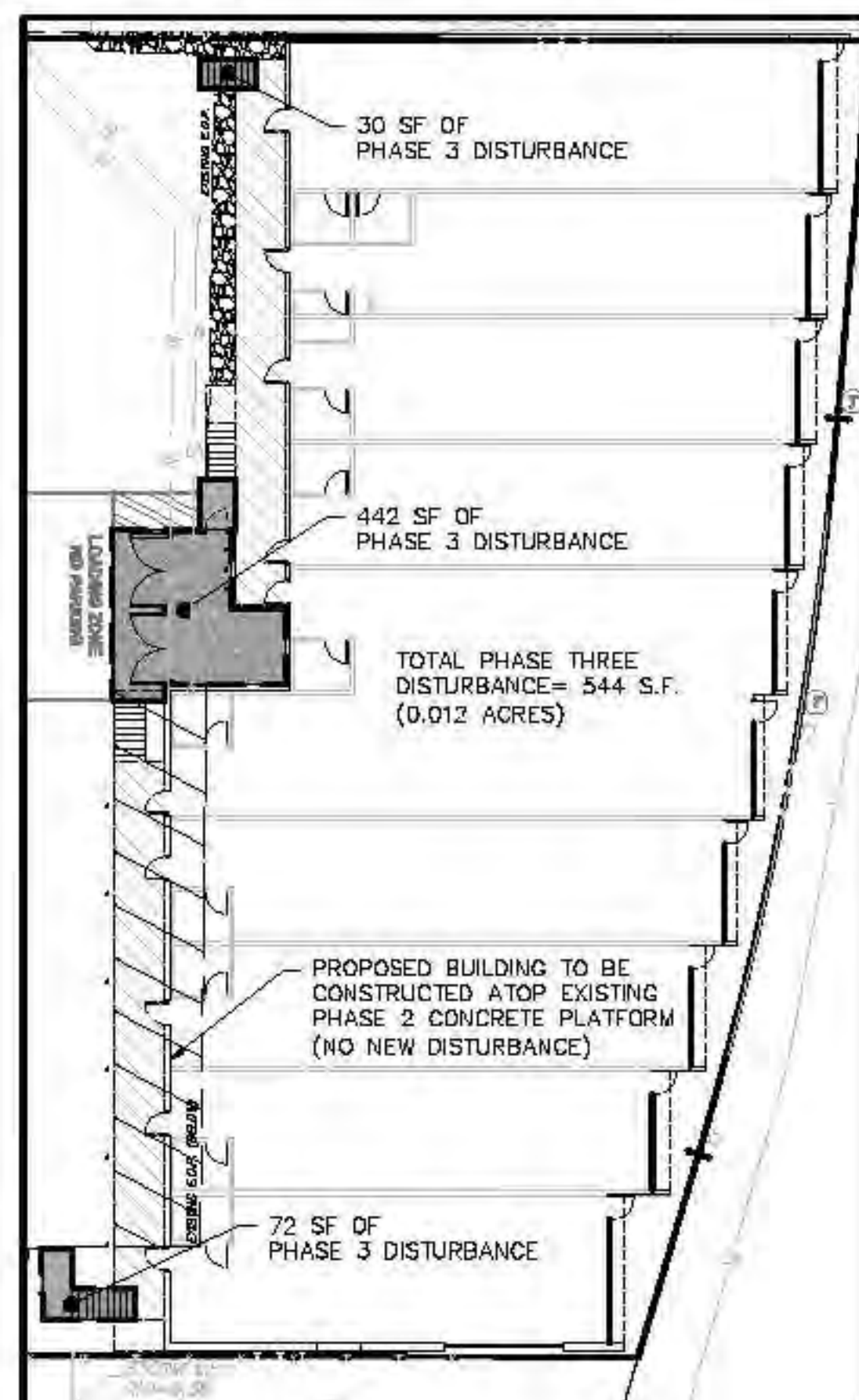
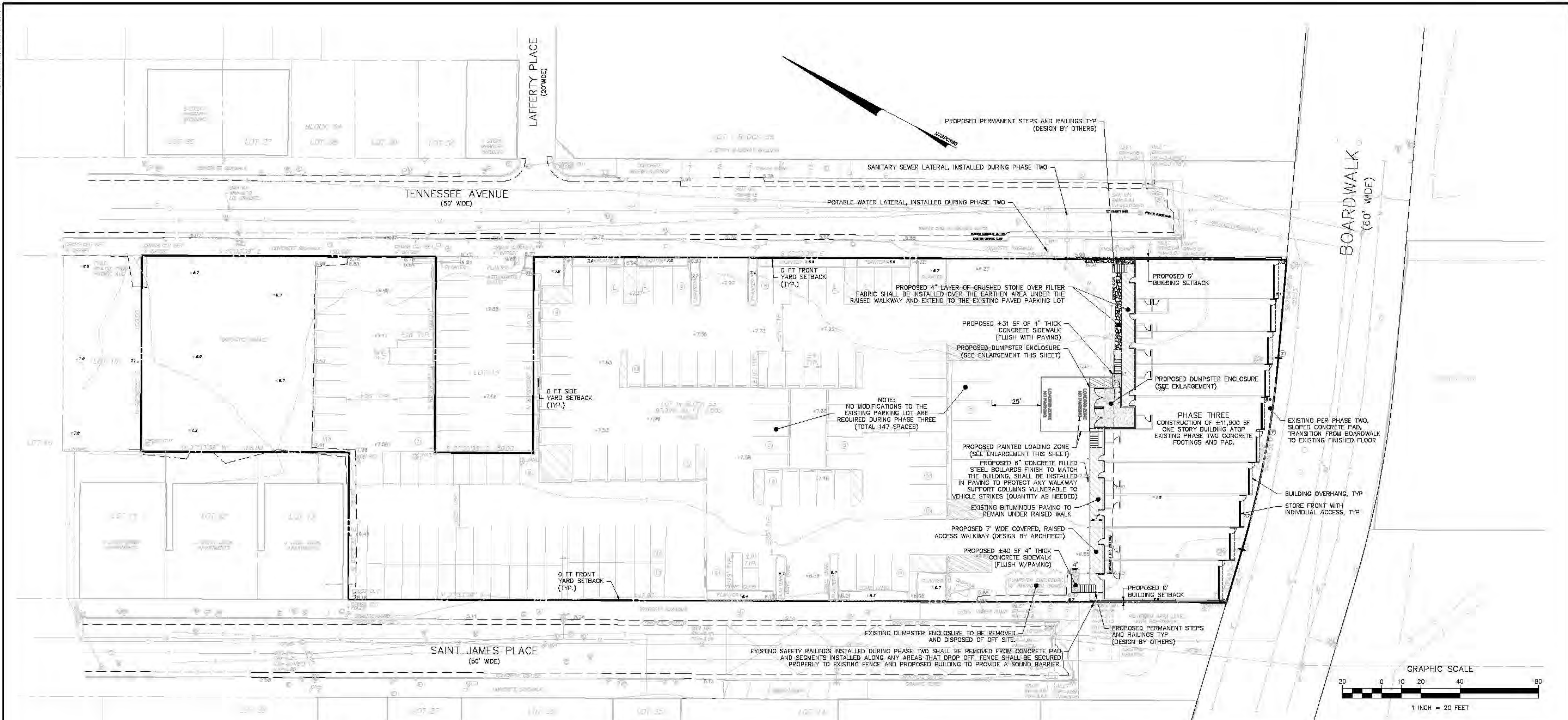
TENNESSEE AVENUE



PHASE TWO SOIL EROSION AND SEDIMENT CONTROL PLAN

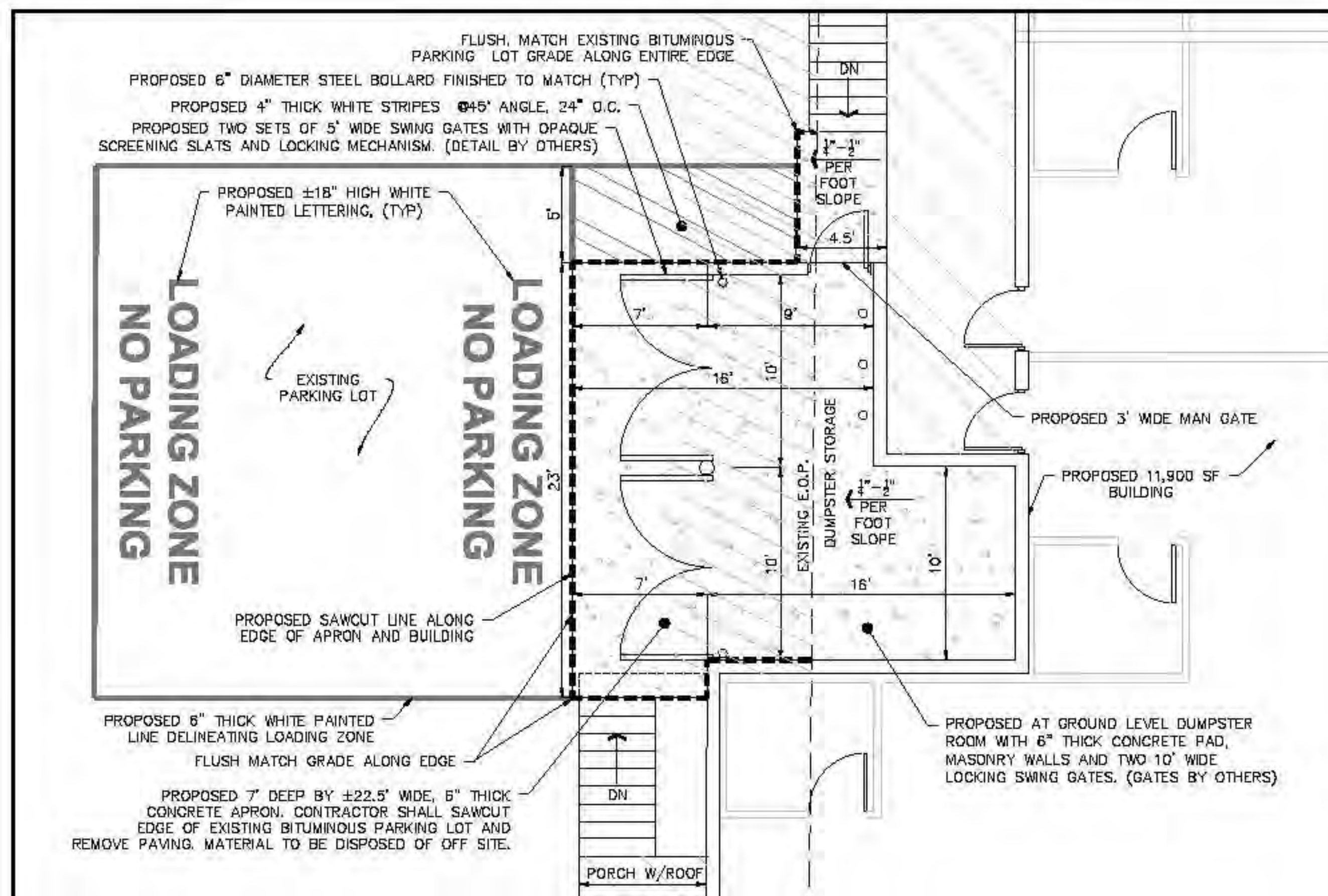
SCALE 1" = 20'

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03/09/2018	2	SUBMISSION TO CRDA WITH NEW ZONING	BAD	KAI
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ISSUE DATE	ISSUE NO.	SUBMISSION/REVISION	BY	APPR.
1401 BOARDWALK				
PRELIMINARY AND FINAL SITE PLAN APPLICATION				
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY				
PHASE TWO - SCD PLAN, SCD DETAILS AND SCD NOTES				
SCHIFF ENTERPRISES				
1004 NEW ROAD, NORTHFIELD, NEW JERSEY 08226				
DAVE J. FLEMING, P.E.				
NEW JERSEY LICENSE NO. 24503321600				
03/30/2018				
SIF DR 07				
MARATHON Engineering & Environmental Services Atlantic City Office				
1616 Pacific Avenue, Suite 501, Atlantic City, NJ 08401				
PH 856-433-2152 FAX 856-433-2161				
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DATE				6 OF 8
C0203				



PHASE THREE LIMIT OF DISTURBANCE

SCALE: 1" = 20'



LOADING/DUMPSTER AREA ENLARGEMENT

SCALE: 1" = 5'

PHASE THREE NOTES:

- PHASE THREE IS THE FINAL PHASE OF THE PROJECT AND PRIMARILY INCLUDES THE CONSTRUCTION OF THE ±11,900 S.F. BUILDING ATOP THE CONCRETE PLATFORM THAT WILL HAVE BEEN CONSTRUCTED IN PHASE TWO. PHASE THREE CONSTRUCTION WILL OCCUR AT A TIME IN THE FUTURE WHEN MARKET CONDITIONS PROVIDE FAVORABLE OPPORTUNITIES FOR COMMERCIAL/ENTERTAINMENT FLOOR SPACE RENTALS.
- THE PROPOSED BUILDING WILL INCLUDE ONE FLOOR WITH ± 10 MULTIPLE TENANTS WITH FLOOR SPACE RANGING FROM ±1,078 S.F. TO ±1,486 S.F. THE APPLICANT ANTICIPATES THE TENANTS/BUSINESSES WILL BE PERMITTED USES OF THE RESORT COMMERCIAL DISTRICT IN KEEPING WITH THE SURROUNDING EXISTING BOARDWALK MERCHANTS.
- PHASE THREE INCLUDES A TOTAL SITE DISTURBANCE AREA OF 544 S.F. (0.012 ACRES) WHICH INCLUDES THE CONSTRUCTION OF GROUND LEVEL CONCRETE SIDEWALKS AND LOADING/ DUMPSTER AREA IMPROVEMENTS. NO GRADING IS PROPOSED IN ASSOCIATION WITH THE PHASE THREE IMPROVEMENTS. CONCRETE SIDEWALKS SHALL HAVE MINIMUM SLOPES OF 1/4" TO 1/2" PER FOOT TO ELIMINATE PUDDLING. WHERE NEW SIDEWALK OR APRONS ADJUT EXISTING BITUMINOUS PAVING, JOINTS ELEVATIONS SHALL BE FLUSH.
- THE PHASE THREE BUILDING WILL BE SERVED WITH PUBLIC SEWER AND PUBLIC WATER. AN EXISTING WATER LINE, LATERAL AND VALVE BOX WAS INSTALLED THAT CONNECTS TO THE EXISTING MAIN IN TENNESSEE AVENUE. A WATER SERVICE LINE AND A PROPOSED SANITARY SEWER LATERAL WILL BE INSTALLED DURING PHASE TWO.
- RAILINGS SHALL BE INSTALLED ALONG THE PORTIONS OF THE BOARDWALKS IN TENNESSEE AVENUE AND ST. JAMES PLACE TO PROVIDE A SAFETY BARRIER FOR PEDESTRIANS WHERE THERE ARE DROPS IN ELEVATION OVER 30 INCHES. RAILINGS SHALL BE SECURELY CONNECTED TO THE EXISTING RAILINGS AND BUILDINGS TO PROVIDE A CONTINUOUS STURDY BARRIER WITH NO GAPS.
- THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF EXISTING TRASH CANS AND EXISTING LIGHT STANDARDS WITHIN THE BOARDWALK RIGHT-OF-WAY WITH THE CITY OF ATLANTIC CITY AND THE C.R.D.A. BY PRIOR TO REMOVAL OF THOSE ACCESSORY STRUCTURES.
- THE EXISTING DUMPSTER ENCLOSURE INCLUDING FENCING, GATES AND TRASH WILL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE. A PROPOSED DUMPSTER ENCLOSURE WILL BE PROVIDED INTEGRALLY WITH BUILDING FOR TRASH AND RECYCLING MATERIAL STORAGE. MASONRY WALLS SURROUNDING THE DUMPSTER WILL BE FINISHED TO MATCH THE BUILDING. LOCKING SWING GATES WILL BE CONSTRUCTED WITH WOOD SLATS TO PROVIDE AN OPAQUE SCREEN TO DUMPSTERS.
- THE REMOVAL OF THE PHASE TWO MATERIALS, SUCH AS PLANTERS, FENCING, LIGHTING, FURNITURE, ETC. SHALL BE COORDINATED WITH OWNER IN REGARDS TO CARE OF REMOVAL AND STORAGE OR DISPOSAL.
- NO DRAINAGE IMPROVEMENTS ARE REQUIRED FOR PHASE THREE IMPROVEMENTS.

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BLOCK 53, LOT 14 (TAX SHEET #10)
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

PHASE THREE - SITE, GRADING PLAN AND DETAILS

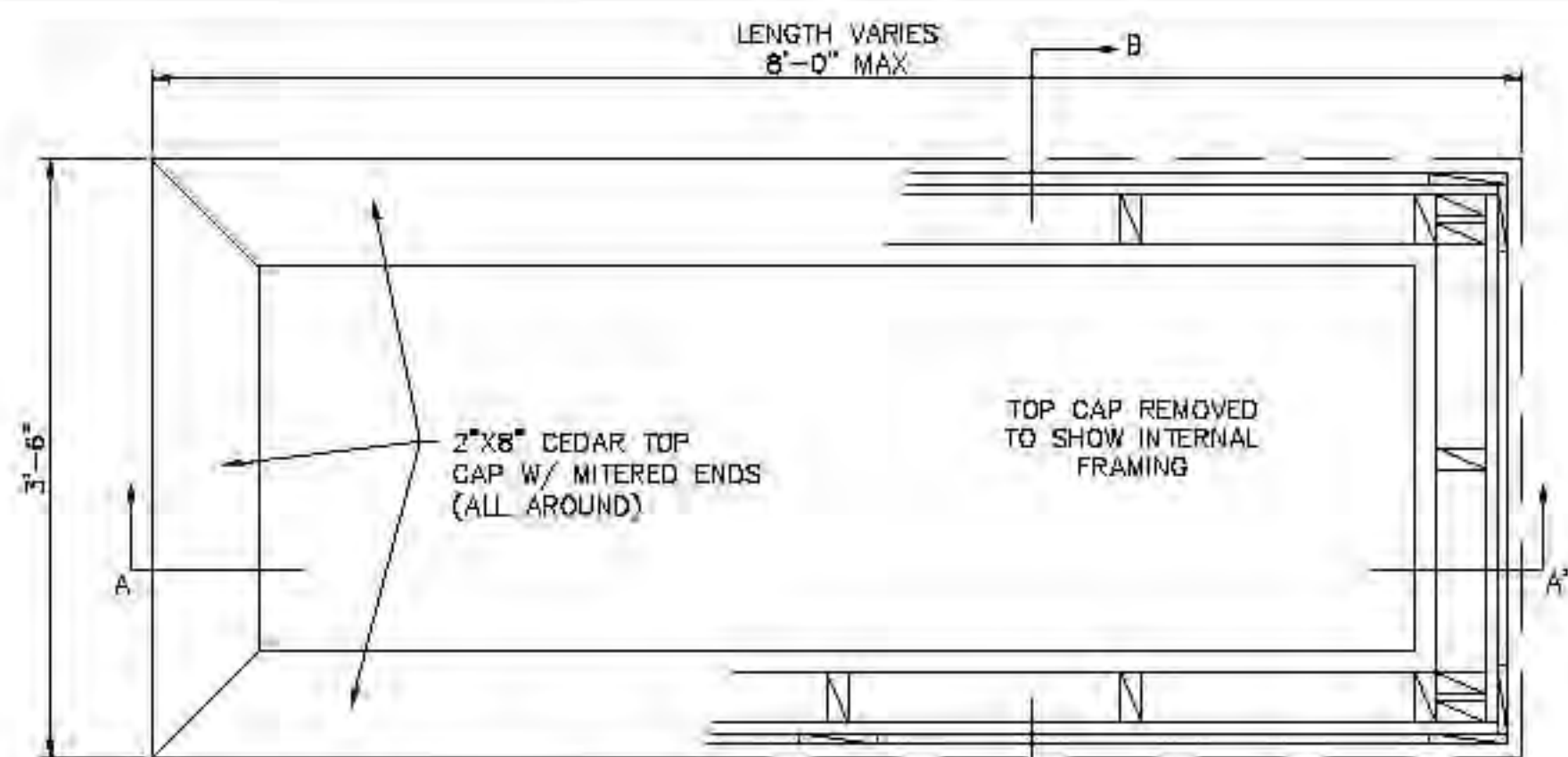
SCHIFF ENTERPRISES
1004 NEW ROAD
NORTHFIELD, NEW JERSEY 08225

DAVE J. FLEMING, P.E.
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24003321600

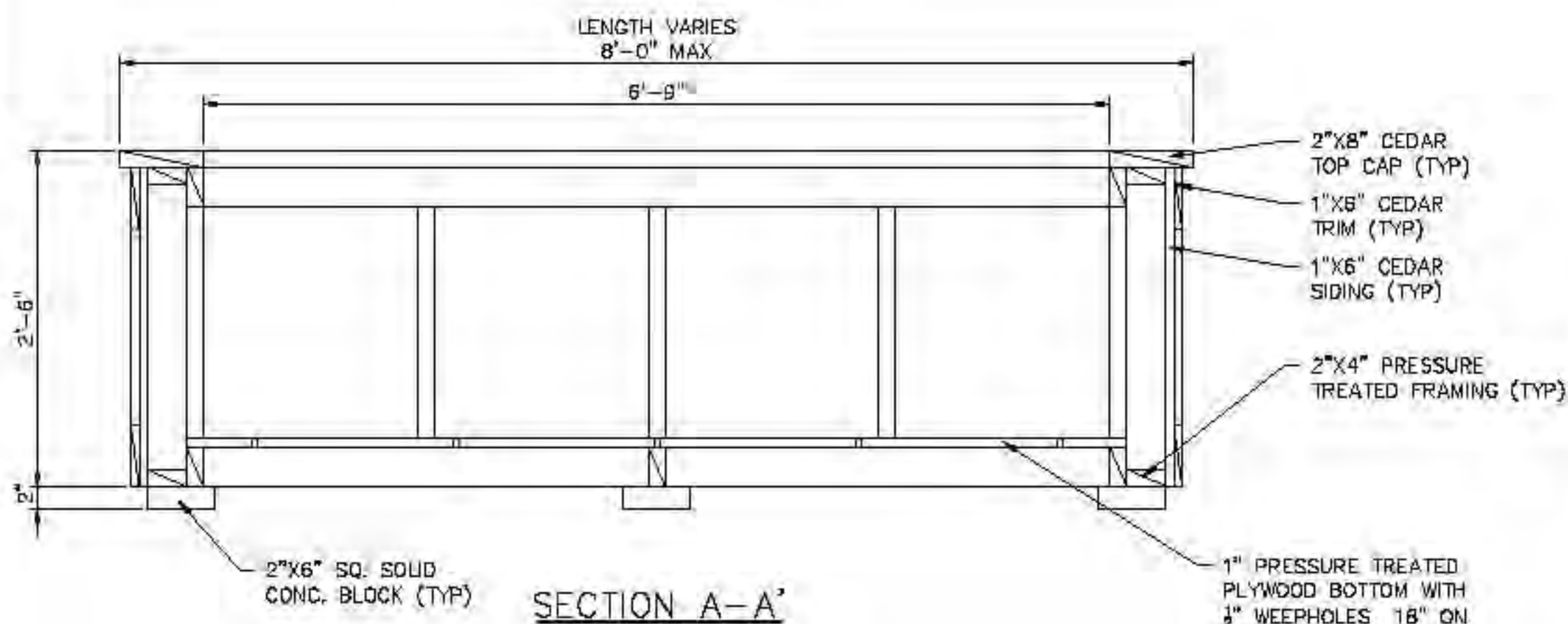
03/30/2018
SHEET 001 OF 01

MARATHON
Engineering & Environmental Services
Atlantic City Office
1616 Pacific Avenue, Suite 601, Atlantic City, NJ 08401
ph (609) 437-2100 fax (609) 437-2101
Certificate of Authorization #240A27986700

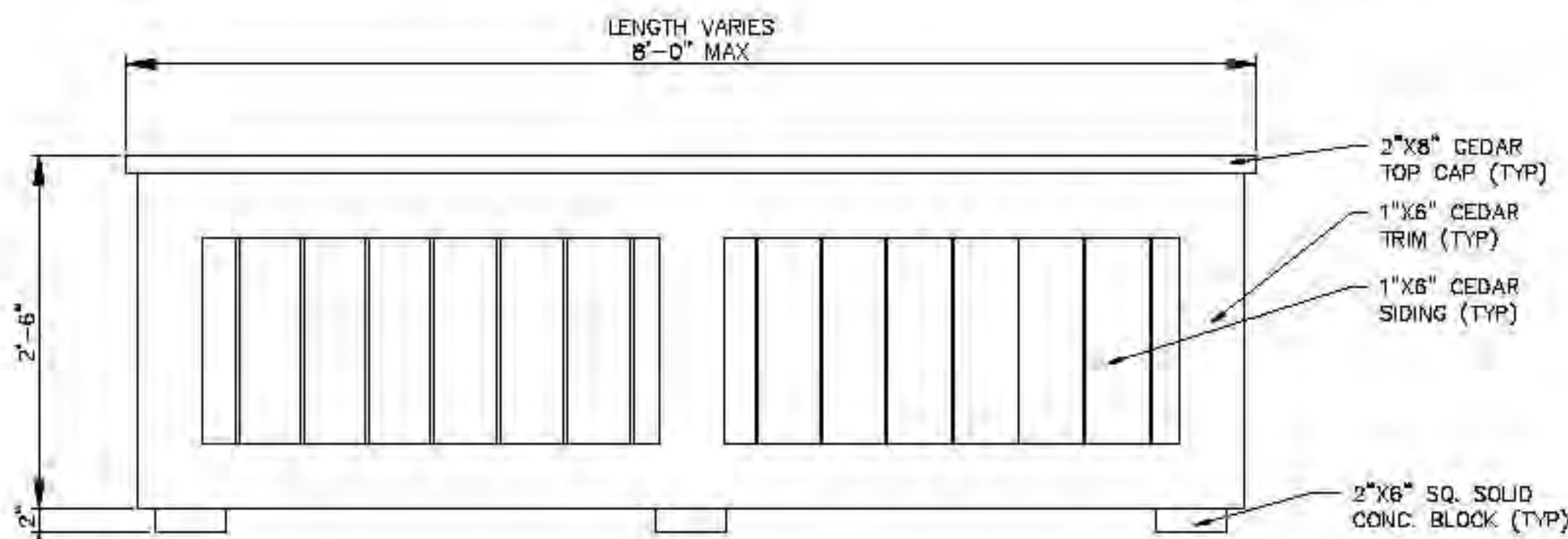
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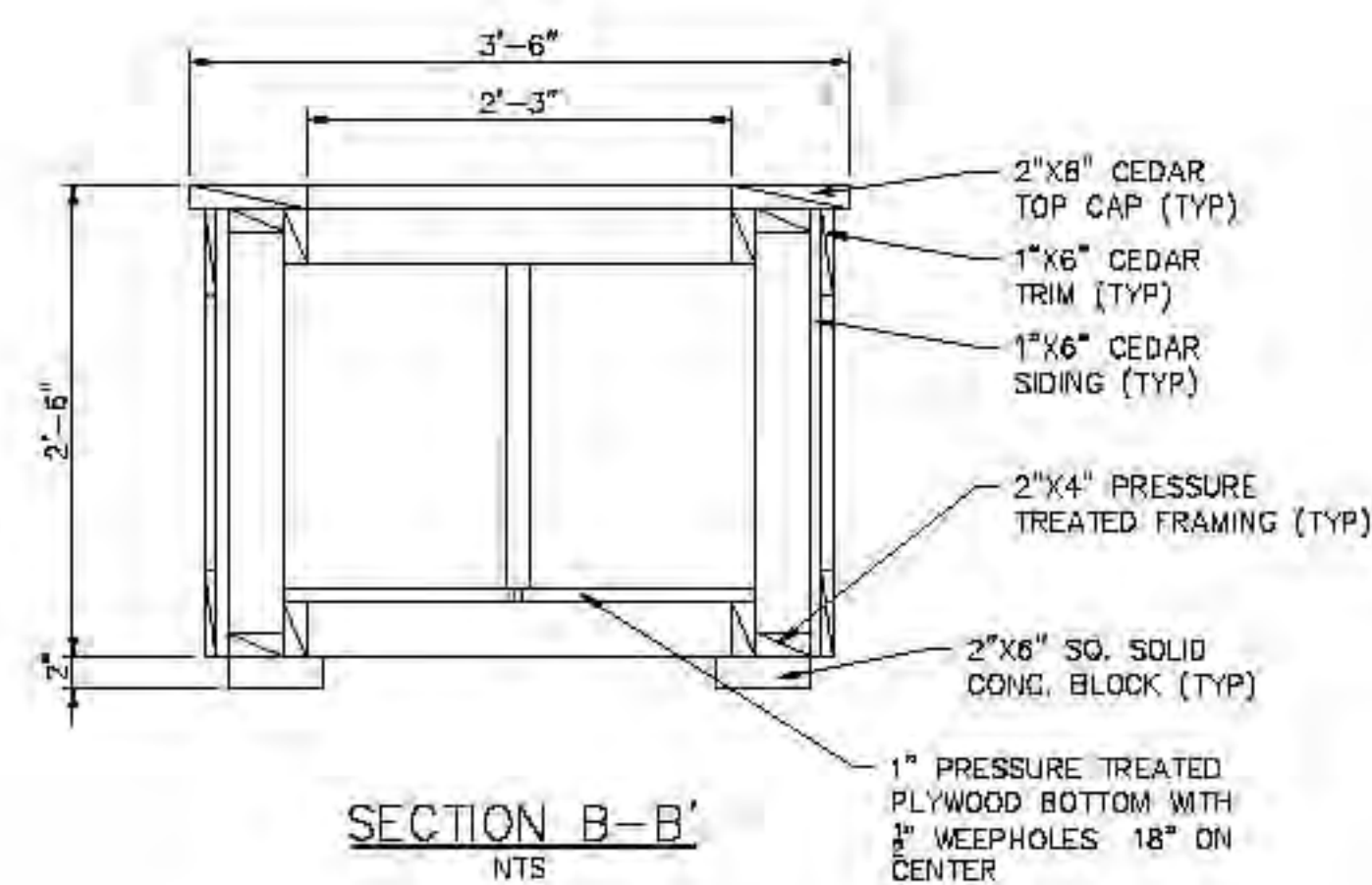
PLAN VIEW
N.T.S.



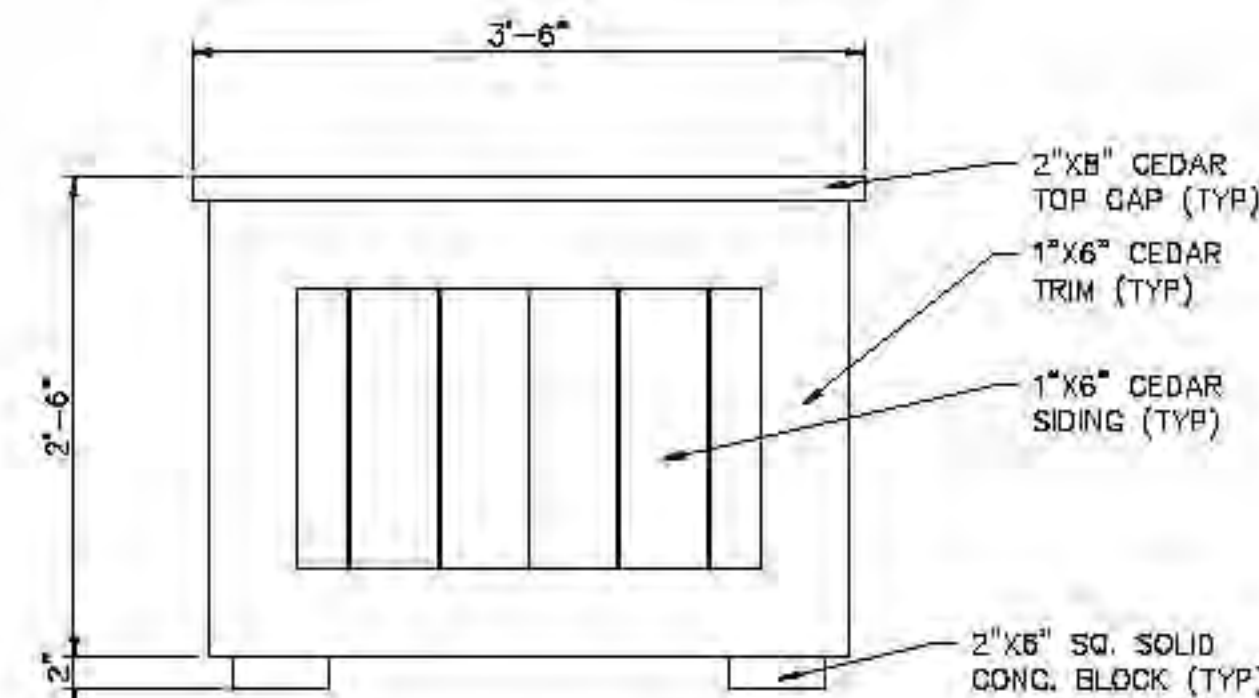
SECTION A-A'
N.T.S.



FRONT ELEVATION
N.T.S.

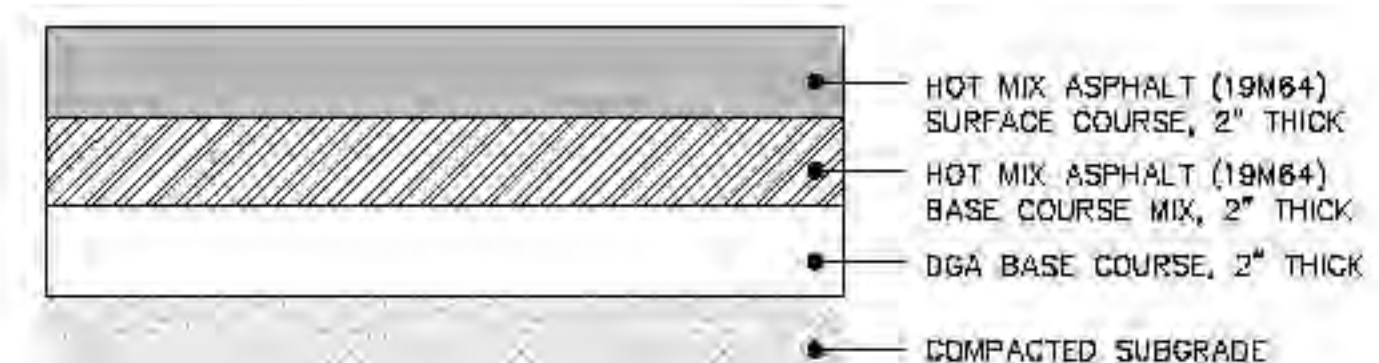


SECTION B-B'
N.T.S.



SIDE ELEVATION
N.T.S.

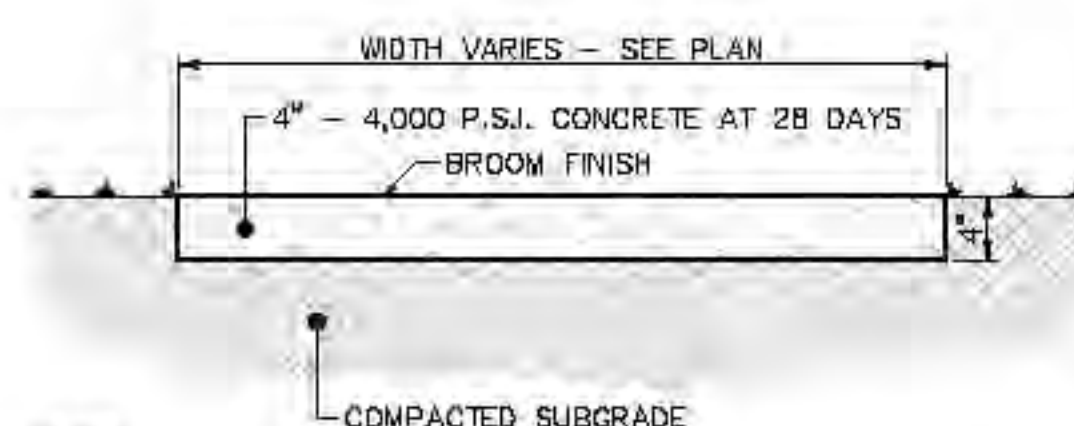
TIMBER PLANTER BOX DETAILS
N.T.S.



ON SITE PAVING DETAIL
N.T.S.

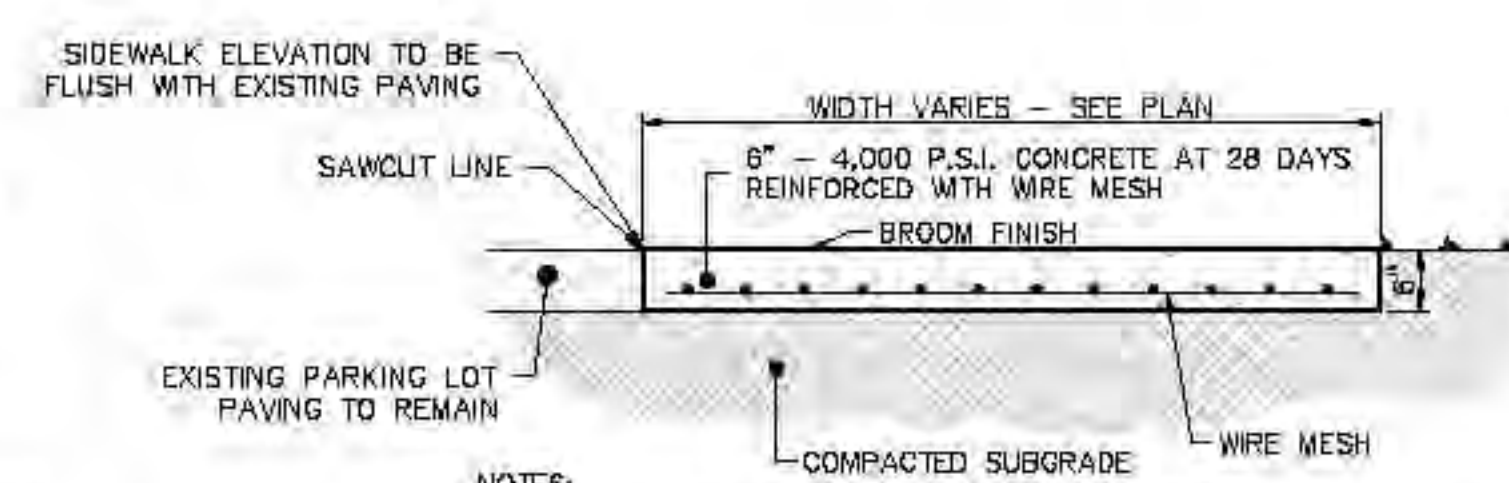
(FOR PAVEMENT RESTORATION ON PRIVATE PROPERTY)

- NOTES:
1. THE DENSE GRADED AGGREGATE BASE COURSE SHALL CONFORM TO SECTION 901.10 OF THE NJDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007).
 2. ALL SUBGRADES SHALL BE CONSIDERED "POOR", UNLESS THE APPLICANT PROVIDES OTHERWISE THROUGH CBR TESTING OR FIELD EVALUATION OF SOIL CLASSIFICATION. TEST RESULTS SHALL BE REVIEWED BY THE MUNICIPAL ENGINEER.
 3. RSIS PAVEMENT SECTION FOR RURAL LANES, RURAL STREETS, CUL-DE-SACS, AND ALLEYS.



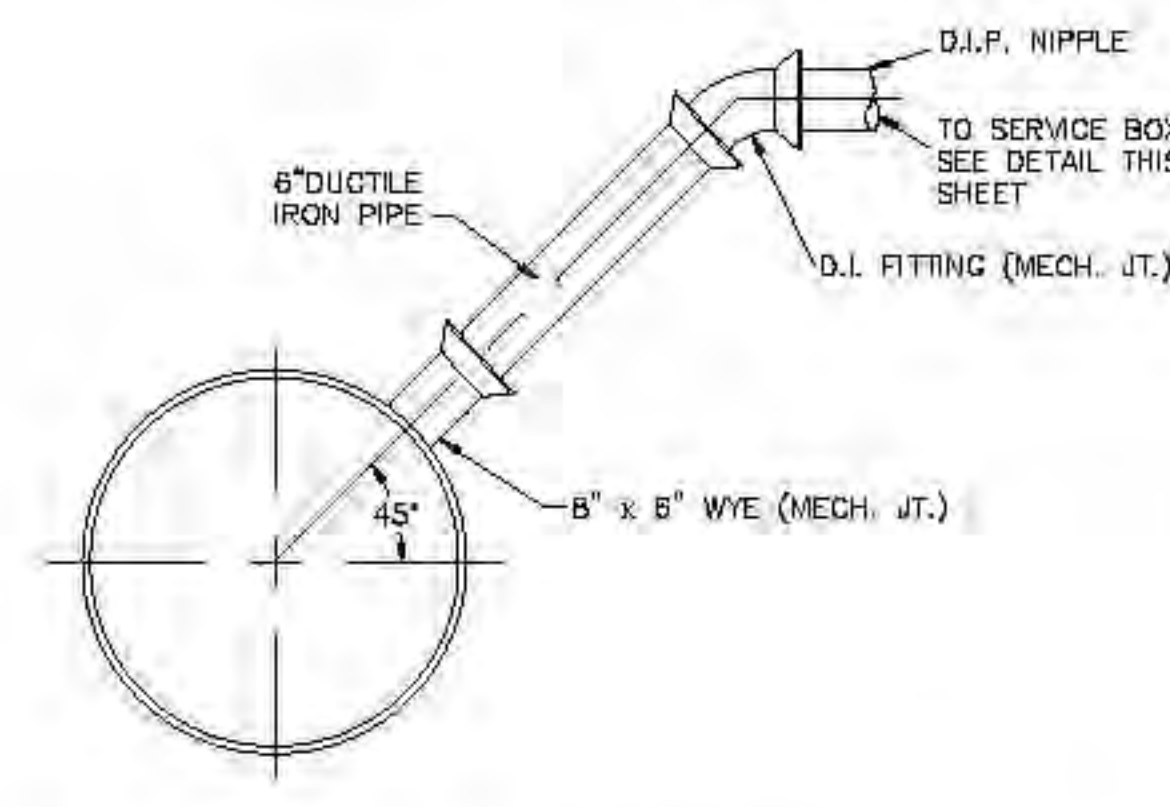
- NOTES:
1. SIDEWALK SHALL BE MINIMUM 4' WIDE AND 4" THICK.
 2. EXPANSION JOINTS SHALL BE 1/2" WIDE AND PROVIDED AT INTERVALS NO GREATER THAN 20 FEET AND SHALL BE FILLED WITH 1/2" THICK CELLULAR COMPRESSION MATERIAL TO WITHIN 1/4" OF TOP OF WALK.
 3. SURFACE GROVES SHALL BE CUT AT LEAST 1/4" DEEP AT RIGHT ANGLES TO THE LINE OF SIDEWALK AND AT INTERVALS EQUAL TO SIDEWALK WIDTH.
 4. SURFACE EDGES SHALL BE ROUNDED TO 1/2" RADIUS.
 5. FINISH SHALL BE WOOD FLAT, FOLLOWED BY BROOMING TO A NEAT, WORKMANLIKE SURFACE.

CONCRETE SIDEWALK DETAIL
N.T.S.

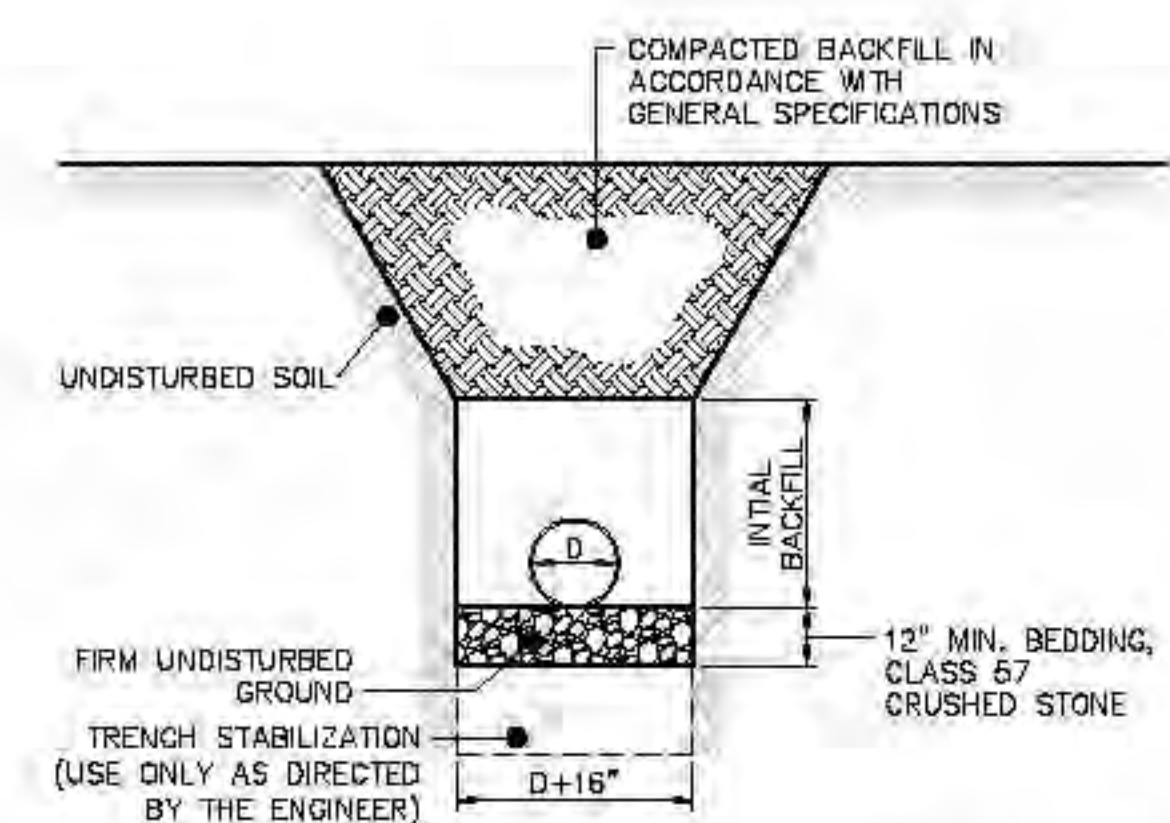


- NOTES:
1. SIDEWALK SHALL BE MINIMUM 4' WIDE AND 4" THICK.
 2. EXPANSION JOINTS SHALL BE 1/2" WIDE AND PROVIDED AT INTERVALS AS SHOWN ON SCORING PLAN AND SHALL BE FILLED WITH 1/2" THICK CELLULAR COMPRESSION MATERIAL TO WITHIN 1/4" OF TOP OF WALK.
 3. SURFACE GROVES SHALL BE CUT AT LEAST 1/4" DEEP AT RIGHT ANGLES TO THE LINE OF SIDEWALK AND AT INTERVALS EQUAL TO SIDEWALK WIDTH.
 4. SURFACE EDGES SHALL BE ROUNDED TO 1/2" RADIUS.
 5. FINISH SHALL BE WOOD FLAT, FOLLOWED BY BROOMING TO A NEAT, WORKMANLIKE SURFACE.

CONCRETE DUMPSTER PAD & APRON DETAIL
N.T.S.

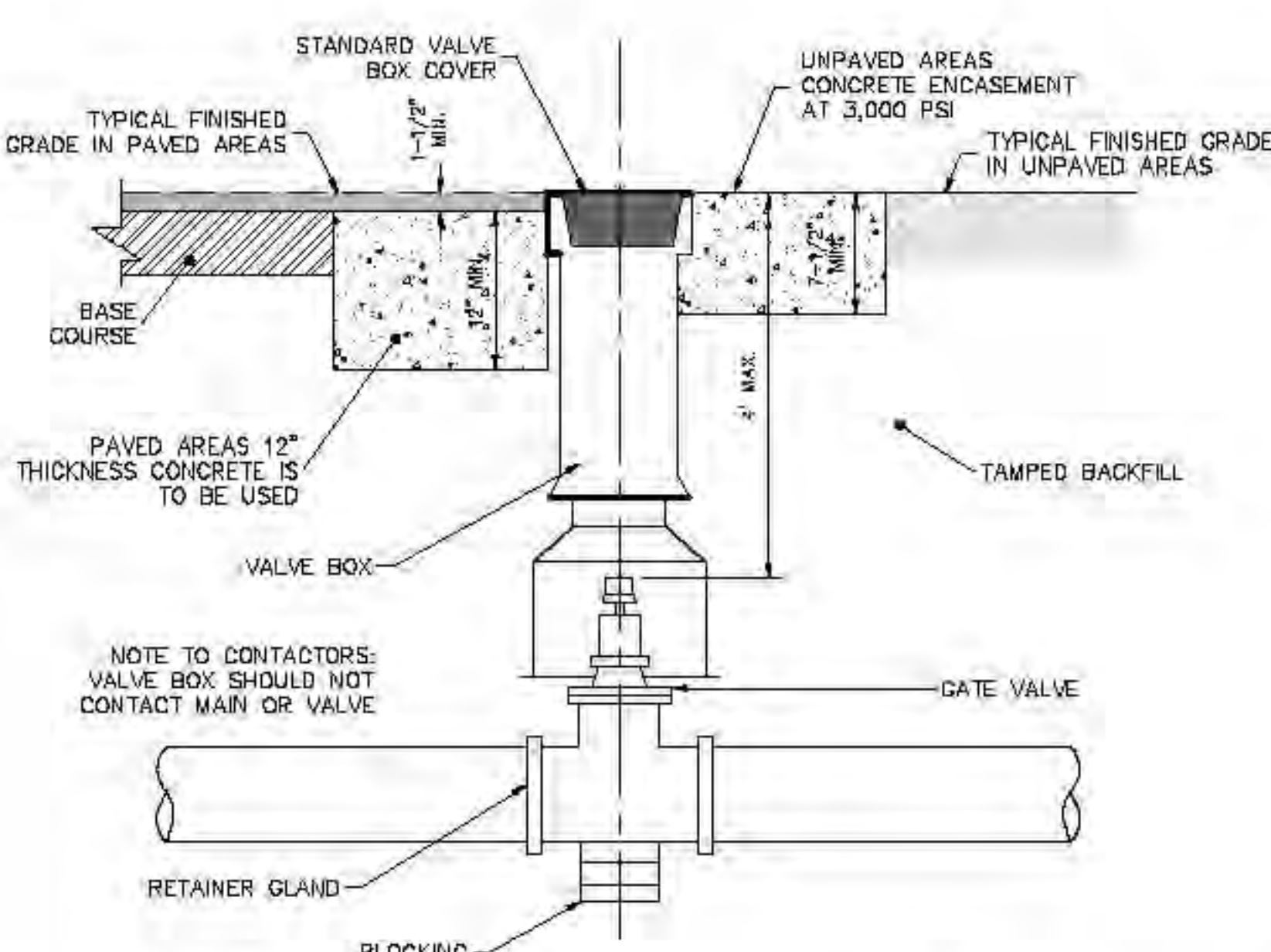


STANDARD SANITARY SEWER
HOUSE CONNECTION DETAIL
N.T.S.



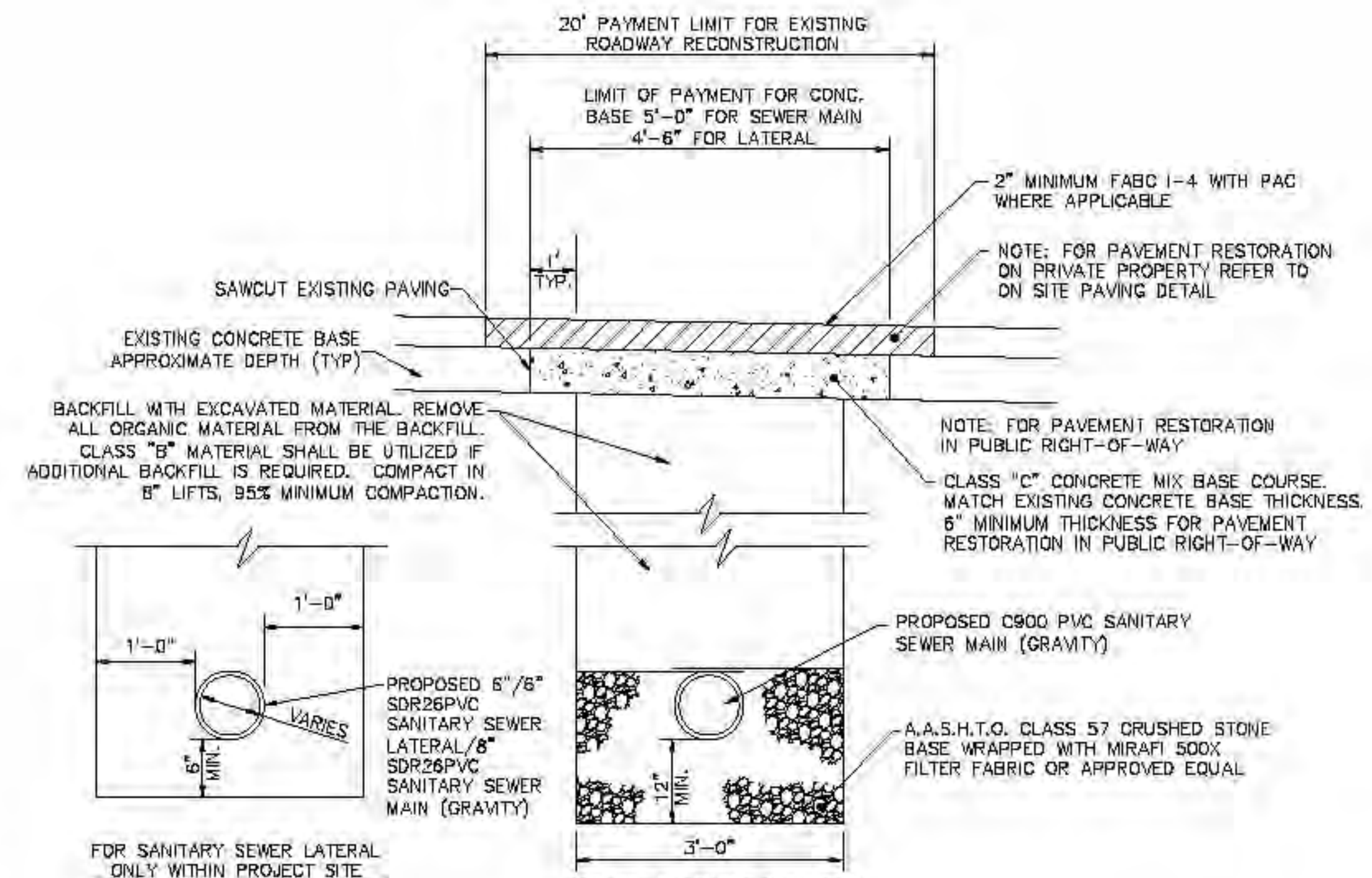
ON-SITE SANITARY SEWER BEDDING
N.T.S.

*INITIAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION 1 - B CONFORMING TO THE REQUIREMENTS OF SECTION 901.09 TABLE 901-2 OF THE NJDOT STANDARD SPECIFICATIONS, LATEST REVISION, OR STONE CRUSHING TO CONFORM WITH A.A.S.H.T.O. DESIGNATION M-43-B-4 (1974) (A.S.T.M. DESIGNATION D448-B-4), SIZE NO. 8, 1/8" TO 3/8" CLEAN, FREE FLOWING AND SHALL MEET ALL A.S.T.M. C-33 FOR QUALITY AND SOUNDNESS.



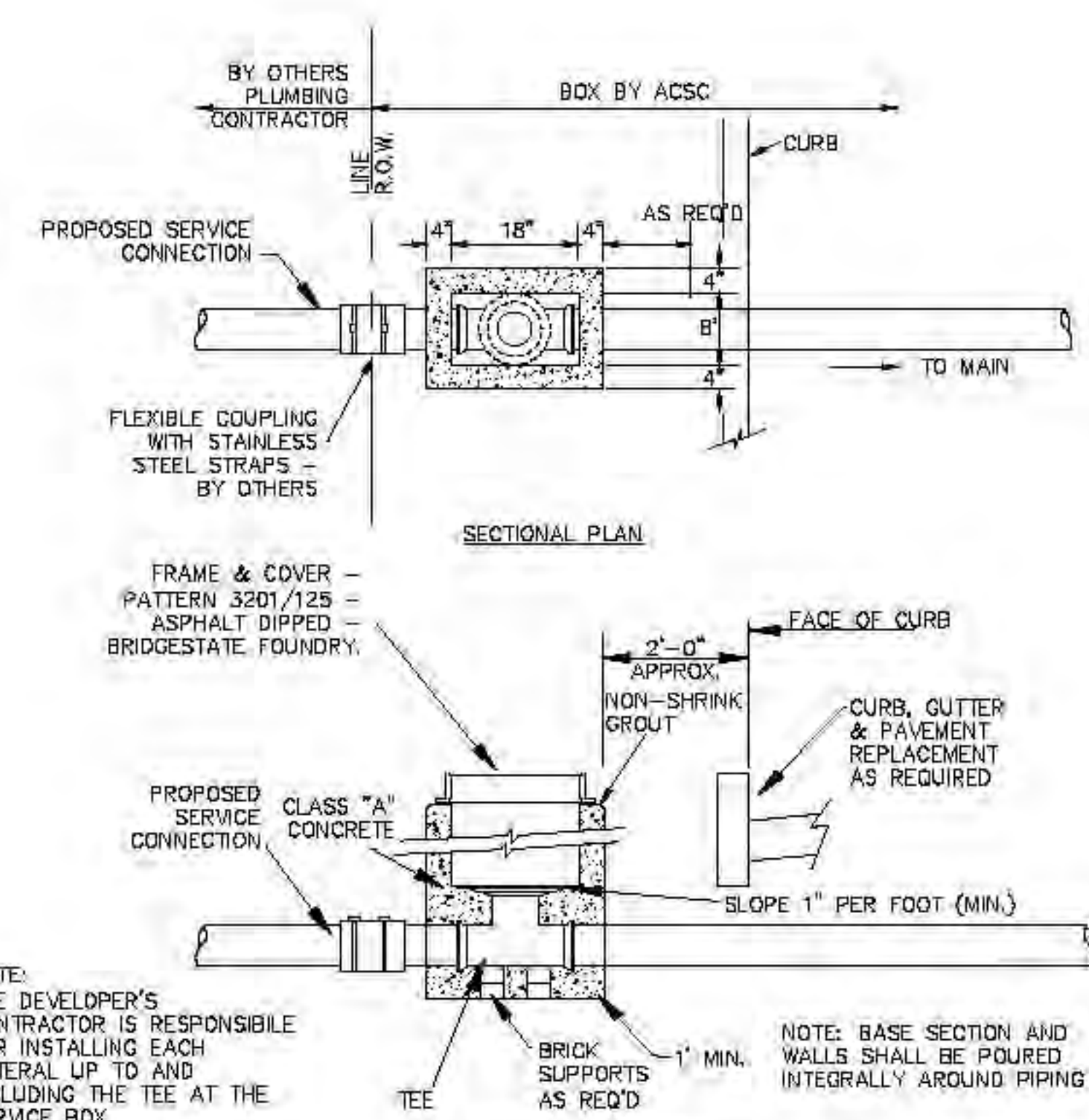
- NOTES:
1. ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
 2. VALVE OPERATING NUT MUST BE EXTENDED SO THAT THE DEPTH IS NO GREATER THAN 4" FROM THE SURFACE USING A MANUFACTURER APPROVED EXTENSION KIT.
 3. PRECAST CONCRETE ENCASUREMENT IS ALLOWED OUTSIDE OF PAVED AREAS.

WATER VALVE INSTALLATION DETAIL
N.T.S.



GRAVITY SANITARY SEWER
TRENCH & PAVEMENT RESTORATION DETAIL
N.T.S.

- TRENCH NOTES:
1. THE PAYMENT LIMIT FOR THE EXCAVATION & BACKFILL OF THE SEWER MAIN TRENCH SHALL BE A MAXIMUM OF 3'-0". THE PAYMENT LIMIT FOR THE EXCAVATION & BACKFILL OF THE SEWER LATERAL TRENCH SHALL BE A MAXIMUM OF 2'-6". THE PAYMENT LIMIT FOR THE CONCRETE BASE OVER THE SEWER MAIN SHALL BE MAXIMUM 5'-6". THE PAYMENT LIMIT FOR THE CONCRETE BASE OVER THE SEWER LATERAL TRENCH SHALL BE A MAXIMUM OF 4'-6".
 2. STONE BEDDING AND FABRIC SHALL BE USED FOR ALL GRAVITY SANITARY SEWER MAINS AND CONFORM TO ASTM D2487.
 3. SHEETING SHALL BE USED AT LOCATIONS REQUIRED BY O.S.H.A. STANDARDS AND SHALL CONFORM TO THE REQUIREMENTS OF THE CONSTRUCTION SAFETY CODE OF THE STATE OF NEW JERSEY DEPARTMENT OF LABOR AND INDUSTRY, BUT IN NO CASE SHALL SHEETING REQUIREMENTS BE LESS STRINGENT THAN REQUIRED BY ATLANTIC CITY ORDINANCE #60.
 4. SHEETING MAY BE PULLED, PROVIDED THAT PULLING WILL NOT ADVERSELY AFFECT BEDDING AND COMPACTION.



SANITARY SEWER SERVICE BOX DETAIL
N.T.S.

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SITE AND UTILITY DETAILS

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ph (609) 437-2100 fax (609) 437-2101
Certificate of Authorization #24302788700

DATE: 03/30/2018
AS SHOWN: KAI
DRAWN BY: LAT
SHEET: 8 OF 8
DESIGNED BY: JTS
CHECKED BY: JTS
APPROVED BY: JTS

C1101