



**Atlantic County
Document Summary Sheet**

ATLANTIC COUNTY CLERK

5901 MAIN ST

MAYS LANDING NJ 08330 1797

ATLANTIC COUNTY, NJ
JOSEPH J. GIRALO, COUNTY CLERK
RECORDED 05/08/2025 15:34:42
RCPT # 1801342 RECD BY E-RECORD
NAME FEE
RECORDING FEES 80.00
INSTRUMENT# 2025016750
VOL 15738 PAGE 1 OF 7

Official Use Only

Transaction Identification Number

7603299

9325740

Submission Date(mm/dd/yyyy)

04/03/2025

No. of Pages (excluding Summary Sheet)

5

Recording Fee (excluding transfer tax)

Realty Transfer Tax

Total Amount

Document Type

DEED/NO EXEMPTION FROM REALTY TRANSFER FEE

Municipal Codes

ATLANTIC CITY

01

Batch Type L2 - LEVEL 2 (WITH IMAGES)

625159

Return Address (for recorded documents)

TRIDENT ABSTRACT TITLE AGENCY, LLC
1340 CAMPUS PKWY
WALL TOWNSHIP, NJ 07753

Additional Information (Official Use Only)

*** DO NOT REMOVE THIS PAGE.**

**COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF ATLANTIC COUNTY FILING RECORD.
RETAIN THIS PAGE FOR FUTURE REFERENCE.**



**Atlantic County
Document Summary Sheet**

DEED/NO EXEMPTION FROM REALTY TRANSFER FEE	Type	DEED/NO EXEMPTION FROM REALTY TRANSFER FEE				
	Consideration					
	Submitted By	TRIDENT ABSTRACT TITLE AGENCY, LLC (CSC/INGEO SYSTEMS INC				
	Document Date	04/03/2025				
	Reference Info					
	Book ID	Book	Beginning Page	Instrument No.	Recorded/File Date	
	GRANTOR	Name			Address	
		RMS 209 S TENNESSEE AVE LLC				
		MARK CALLAZZO				
		RICHARD DOMANICO				
	GRANTEE	Name			Address	
		145-147 S SOUTH CAROLINA AVE LLC				
	Parcel Info					
	Property Type	Tax Dist.	Block	Lot	Qualifier	Municipality
	01	57	7 & 8		01	

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*** DO NOT REMOVE THIS PAGE.
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DEED

TA 161437

This Deed is made on 3/31, 2025,

BETWEEN

RMS 209 S TENNESSEE AVE LLC

whose address is 106 Union Avenue, Lakehurst, NJ 08733

REFERRED TO AS THE GRANTOR,

AND

145-147 S. SOUTH CAROLINA AVE, LLC

whose address is 631 Holly Hill Drive, Brielle, N.J. 08730

REFERRED TO AS THE GRANTEE.

THE WORDS "GRANTOR" AND "GRANTEE" SHALL MEAN ALL GRANTORS AND ALL GRANTEES LISTED ABOVE.

TRANSFER OF OWNERSHIP. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made by the sum of [REDACTED]
[REDACTED] The Grantor acknowledges receipt of this money.

TAX MAP REFERENCE. (N.J.S.A. 46:15-2.1) Municipality: City of Atlantic City
Block No.: 57 Lot: 7 and 8 Qualifier:
Account:

[x] No property tax identification number is available on the date of this deed. (Check box if applicable)

PROPERTY. The property consists of the land and all the buildings and structures on the land in the City of Atlantic City, County of Atlantic and State of New Jersey.

The Legal Description is: **SEE LEGAL DESCRIPTION ATTACHED HERETO.**

BEING THE SAME LAND AND PREMISES which became vested in 143 Carolina LLC by Deed from Joseph C. Zoll dated 10-05-21, recorded 11-04-21 in the Atlantic County Clerk/Register's Office in Instrument No. 2021064583.

143 Carolina LLC conveyed to RMS 209 S Tennessee Ave LLC by deed dated January 30, 2025 and delivered February 20, 2025, recorded in the Atlantic County Clerks Office as Instrument No. 2025011394.

Subject to covenants, restrictions and easements of record, if any.

Prepared by: Mark Callazzo



**SCHEDULE C
LEGAL DESCRIPTION**

Issuing Office File No. TA-161437

REVISED

ALL that (those) certain lot(s), tract(s) or parcel(s) of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Atlantic City, County of Atlantic, and State of New Jersey and is bounded and described as follows:

Lot 7, Tract 1

Beginning at a point marked by an x-cut to be set on the easterly R.O.W. line of South Carolina Avenue (50' R.O.W.), said point being a distance of 550.00 feet from its intersection with the southerly R.O.W. line of Pacific Avenue (60' R.O.W.), and running; thence

- 1) N62°32'00"E, a distance of 76.30 feet to a point marked by a nail to be set; thence
- 2) S27°28'00"E, a distance of 40.00 feet to a point; thence
- 3) S62°32'00"W, a distance of 76.30 feet to a point on said easterly R.O.W. line of South Carolina Avenue; thence
- 4) Along same, N27°28'00"W, a distance of 40.00 feet to a point, said point being the Point and Place of Beginning.

Note for Information Only:

Also known as Tax Lot 7 Block 57, on the official tax map of City of Atlantic City, County of Atlantic, in the State of New Jersey.

Lot 8, Tract 2

Beginning at a point on the easterly R.O.W. line of South Carolina Avenue (50' R.O.W.), said point being a distance of 590.00 feet from its intersection with the southerly R.O.W. line of Pacific Avenue (60' R.O.W.), and running; thence

- 1) N62°32'00"E, a distance of 76.30 feet to a point; thence
- 2) N65°47'53"E, a distance of 12.00 feet to a point; thence
- 3) S29°35'59"E, a distance of 19.33 feet to a point marked by a nail to be set; thence
- 4) S62°32'00"W, a distance of 89.00 feet to a point marked by an x-cut to be set on said easterly R.O.W. line of South Carolina Avenue; thence
- 5) Along same, N27°28'00"W, a distance of 20.00 feet to a point, said point being the Point and Place of Beginning.

Note for Information Only:

Also known as Tax Lot 8 Block 57, on the official tax map of City of Atlantic City, County of Atlantic, in the State of New Jersey.

THE above descriptions were drawn in accordance with surveys prepared by Morgan Engineering & Surveying, LLC, dated February 19, 2025.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

State of New Jersey

Seller's Residency Certification/Exemption

Seller's Information

Name(s)

RMS 209 S TENNESSEE AVE LLC

Current Street Address

106 UNION AVENUE

City, Town, Post Office

LAKEHURST

State

NJ

ZIP Code

08733

Property Information

Block(s)

57

Lot(s)

7 AND 8

Qualifier

Street Address

145+147 S SOUTH CAROLINA AVENUE

City, Town, Post Office

ATLANTIC CITY

State

NJ

ZIP Code

08401

Seller's Percentage of Ownership

100

Total Consideration

Owner's Share of Consideration

Closing Date

3/31/25

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. ☐ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☒ Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
- 7a. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE CODE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain. See instructions.
- 7b. ☐ Seller only received like-kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. ☐ The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. ☐ The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I further declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

3/31/25

Date

3/31/25

Date

Signature (Seller)

MARK CALLAZZO, MEMBER

Indicate if Power of Attorney or Attorney in Fact

Signature (Seller)

RICHARD DOMANICO, Member

Indicate if Power of Attorney or Attorney in Fact

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L.1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

COUNTY ATLANTIC } SS. County Municipal Code 0102

MUNICIPALITY OF PROPERTY LOCATION CITY OF ATLANTIC CITY

FOR RECORDER'S USE ONLY	
Consideration	\$ _____
RTF paid by seller	\$ _____
Date	By _____

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (See Instructions #3 and #4 on reverse side)

Deponent, MARK CALLAZZO, being duly sworn according to law upon his/her oath,
(Name)

deposes and says that he/she is the MEMBER OF LLC in a deed dated 3/31/25 transferring
(Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)

real property identified as Block number 57 Lot number 7 and 8 located at

145+ 147 S SOUTH CAROLINA AVE ATLANTIC CITY

(Street Address, Town)

and annexed thereto.

(2) CONSIDERATION \$ _____ (Instructions #1 and #5 on reverse side) ☐ no prior mortgage to which property is subject.

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:

(See Instructions #5A and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Assessed Valuation

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE (See Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(5) PARTIAL EXEMPTION FROM FEE (Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) ☐ 62 years of age or over. * (Instruction #9 on reverse side for A or B)
- B. ☐ BLIND PERSON Grantor(s) ☐ legally blind or; *
- ☐ DISABLED PERSON Grantor(s) ☐ permanently and totally disabled ☐ receiving disability payments ☐ not gainfully employed*

Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:

- ☐ Owned and occupied by grantor(s) at time of sale. ☐ Resident of State of New Jersey.
- ☐ One or two-family residential premises. ☐ Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

C. LOW AND MODERATE INCOME HOUSING (Instruction #9 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- ☐ Affordable according to H.U.D. standards. ☐ Reserved for occupancy.
- ☐ Meets income requirements of region. ☐ Subject to resale controls.

(6) NEW CONSTRUCTION (Instructions #2, #10 and #12 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- ☐ Entirely new improvement ☐ Not previously occupied.
- ☐ Not previously used for any purpose. ☐ "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES (Instructions #5, #12, #14 on reverse side) IF APPLIES ALL BOXES MUST BE CHECKED.

- ☐ No prior mortgage assumed or to which property is subject at time of sale.
- ☐ No contributions to capital by either grantor or grantee legal entity.
- ☐ No stock or money exchanged by or between grantor or grantee legal entities.

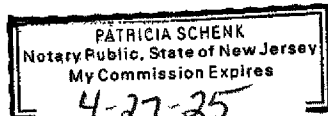
(8) INTERCOMPANY TRANSFER IF APPLIES ALL BOXES MUST BE CHECKED. (Instruction #15 on reverse side)

- ☐ Intercompany transfer between combined group members as part of the unitary business.
- ☐ Combined group NU ID number (Required) _____

(9) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 31 day of MARCH, 2025

Patricia Schenk



Signature of Deponent
106 UNION AVENUE LAKEHURST, NJ
08733

Deponent Address

XXX-XX-X 497

Last three digits in Grantor's Social Security Number

RMS 209 S TENNESSEE AVE L

Grantor Name
106 UNION AVENUE LAKEHURST NJ
08733

Grantor Address at Time of Sale

TRIDENT ABSTRACT TITLE AG
Name/Company of Settlement Officer

FOR OFFICIAL USE ONLY	
Instrument Number	County _____
Deed Number	Book _____ Page _____
Deed Dated	Date Recorded _____

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to:

STATE OF NEW JERSEY

PO BOX 251

TRENTON, NJ 08695-0251

ATTENTION: REALTY TRANSFER FEE UNIT

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division of Taxation website at


<https://www.state.nj.us/treasury/taxation/lpt/localtax.shtml>

The Property Address is: 145-147 S South Carolina Avenue, Atlantic City, NJ 08401

PROMISES BY THE GRANTOR. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as making a mortgage or allowing a judgment to be entered against the Grantor).

SIGNATURES. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:


PATRICIA SCHENK

RMS 209 S TENNESSEE AVE LLC

BY: MARK CALLAZZO, Member

BY: RICHARD DOMANICO, Member

STATE OF NEW JERSEY :
: ss.
COUNTY OF OCEAN :

I certify that on 3/31, 2025, MARK CALLAZZO AND RICHARD DOMANICO, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed as members of RMS 209 S Tennessee Ave LLC
- (c) made this Deed for [REDACTED] as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5).


Notary Public

RECORD AND RETURN TO:

Trident Abstract Title Agency
1340A Campus Pkwy
Wall NJ 07753

