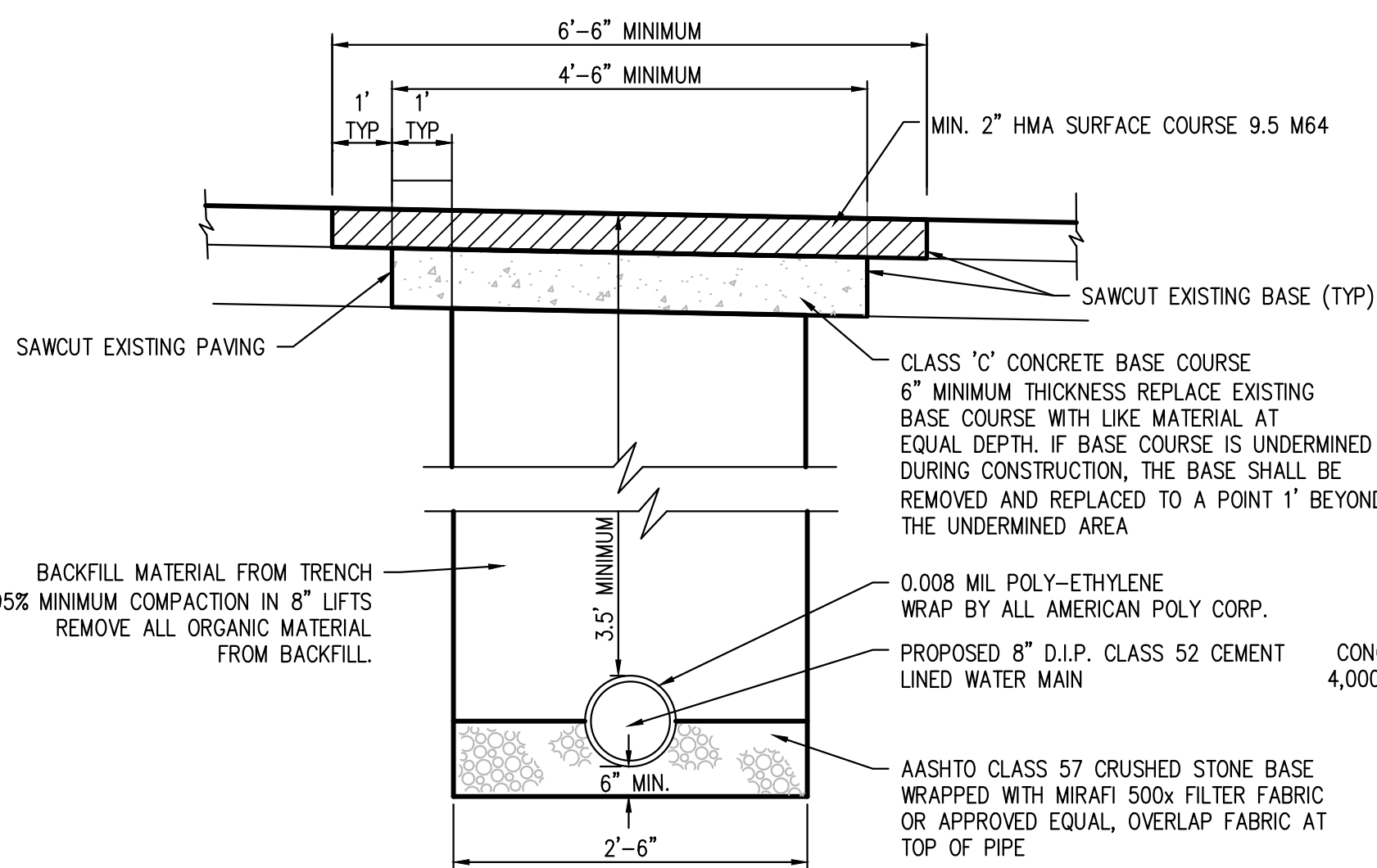


GRADING PLAN



TRENCH NOTES

1. SHEETING SHALL BE USED AT LOCATIONS REQUIRED BY O.S.H.A. STANDARDS AND SHALL CONFORM TO THE REQUIREMENTS OF THE CONSTRUCTION SAFETY CODE OF THE STATE OF NEW JERSEY DEPARTMENT OF LABOR AND INDUSTRY, BUT IN NO CASE SHALL SHEETING REQUIREMENTS BE LESS STRINGENT THAN REQUIRED BY ATLANTIC CITY ORDINANCE #60.
2. SHEETING MAY BE PULLED, PROVIDED THAT PULLING WILL NOT ADVERSELY AFFECT BEDDING AND COMPACTION.
3. THE PAYMENT LIMIT FOR THE EXCAVATION & BACKFILL OF THE WATER MAIN TRENCH SHALL BE MAXIMUM OF 2'-6". THE PAYMENT LIMIT FOR THE EXCAVATION & BACKFILL OF THE WATER SERVICE TRENCH SHALL BE A MAXIMUM OF 1'-0".
4. STONE BEDDING AND FABRIC SHALL BE USED FOR THE WATER MAINS ONLY

UTILITY TRENCH REPAIR DETAIL

N.T.S.



Know what's below.  
Call before you dig.

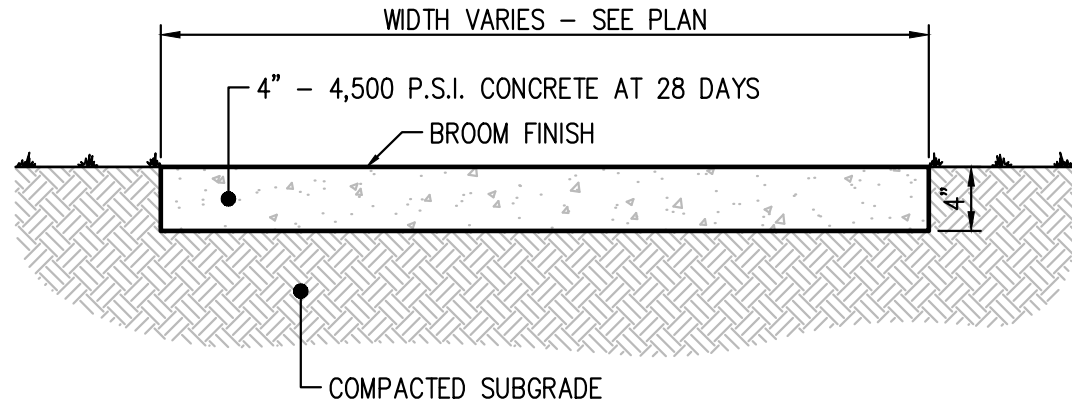
1. EXISTING UTILITY INFORMATION SHOWN ON THESE PLANS IS FURNISHED BY THE UTILITY COMPANIES AND/OR THE SURVEYOR AND THE ACCURACY THEREOF IS NOT THE RESPONSIBILITY OF SCIULLO ENGINEERING SERVICES, LLC. IT IS THE RESPONSIBILITY OF THE OWNERS AND/OR CONTRACTOR TO CALL 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
2. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL "ISSUED FOR CONSTRUCTION" APPEARS IN THE TITLEBLOCK.

FLOOD HAZARD DATA

1. THE ENTIRE PROJECT SITE IS LOCATED IN THE TIDAL FLOOD HAZARD AREA (FLOOD ZONE AE, ELEVATION 10 NAVD 88) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 34001C0456G, WITH A PRELIMINARY DATE OF JAN 30, 2015.
2. SINCE THE PROJECT WILL DISTURB LESS THAN 1 ACRE OF GROUND & INCREASES IMPERVIOUS SURFACE BY LESS THAN 0.25 ACRES, IT IS NOT A MAJOR DEVELOPMENT PURSUANT TO THE NJ STORMWATER RULES AT NJAC 7:8.
3. THE PROJECT IS NOT SUBJECT TO THE NJ COASTAL ZONE MANAGEMENT RULES (NJAC 7:7) AKA CAFRA REGULATIONS SINCE PROPOSED WORK IS GREATER THAN 500' FROM THE LANDWARD LIMIT OF THE DUNES & PROPOSES LESS THAN 150 PARKING SPACES.

SOIL EROSION NOTES:

1. PROJECT SITE IS A PREVIOUS DEVELOPED PARCEL WITHIN METROPOLITAN PLANNING AREA (PA-1) SO THE CONSTRUCTION IS EXEMPT FROM SOIL COMPACTION RESTORATION REQUIREMENTS.
2. AREA OF DISTURBANCE = 5,218 SF

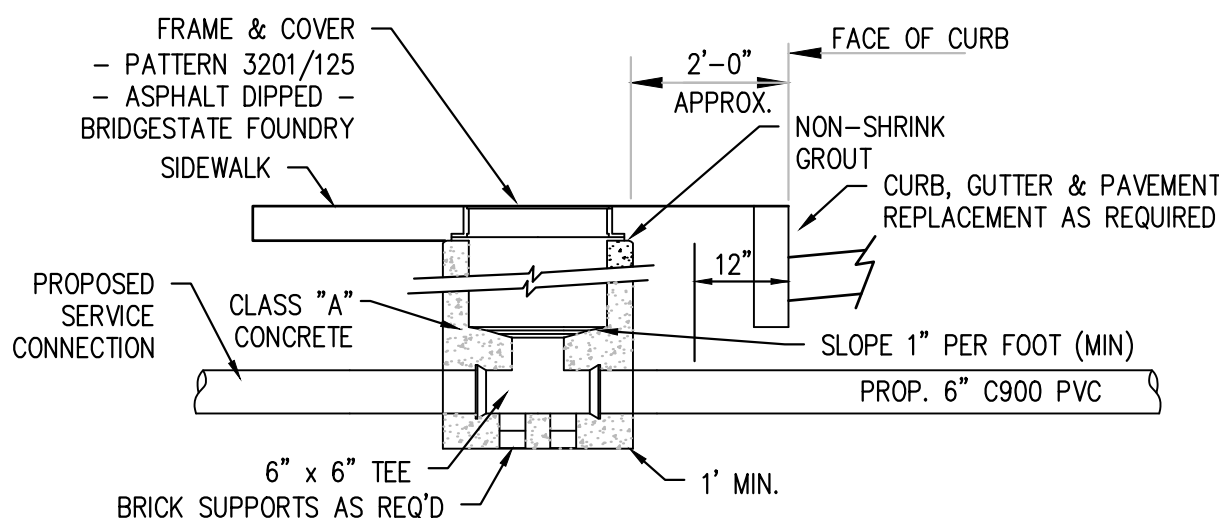


NOTES:

1. SIDEWALK SHALL BE MINIMUM 4' WIDE AND 4" THICK
2. EXPANSION JOINTS SHALL BE 1/2" WIDE AND PROVIDED AT INTERVALS NO GREATER THAN 20 FEET AND SHALL BE FILLED WITH 1/2" THICK CELLULAR COMPRESSION MATERIAL TO WITHIN 1/4" OF TOP OF WALK.
3. SURFACE GROOVES SHALL BE CUT AT LEAST 1/4" DEEP AT RIGHT ANGLES TO THE LINE OF SIDEWALK AND AT INTERVALS EQUAL TO SIDEWALK WIDTH.
4. SURFACE EDGES SHALL BE ROUNDED TO 1/2" RADIUS.
5. FINISH SHALL BE WOOD FLAT, FOLLOWED BY BROOMING TO A NEAT, WORKMANLIKE SURFACE.

CONCRETE SIDEWALK DETAIL

N.T.S.

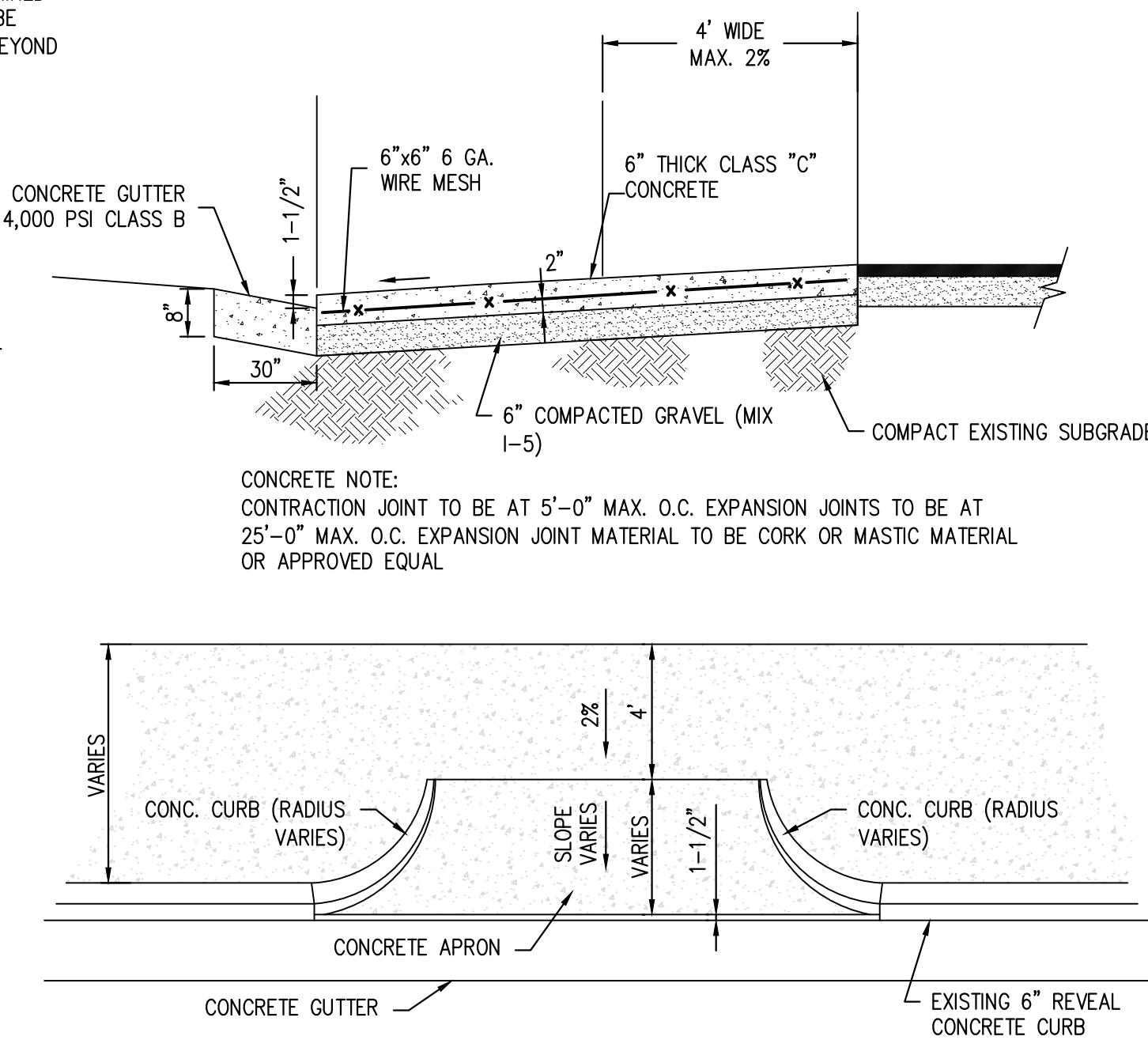


NOTES:

1. THE ATLANTIC CITY SEWERAGE COMPANY WILL INSTALL THE SERVICE BOX, FRAME, AND COVER.
2. BASE SECTION AND WALLS SHALL BE POURED INTEGRALLY AROUND PIPING

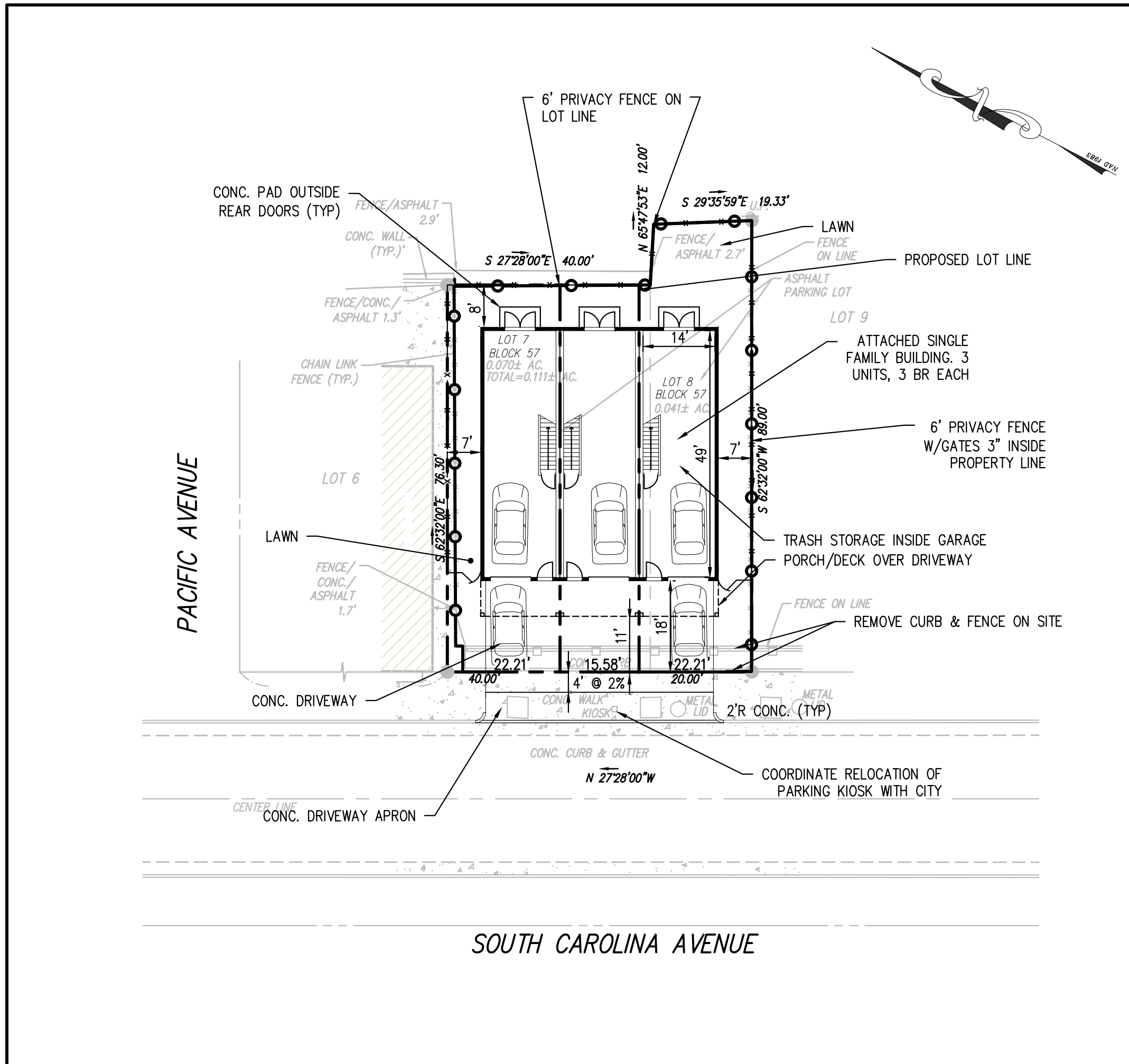
SERVICE BOX DETAIL

N.T.S.

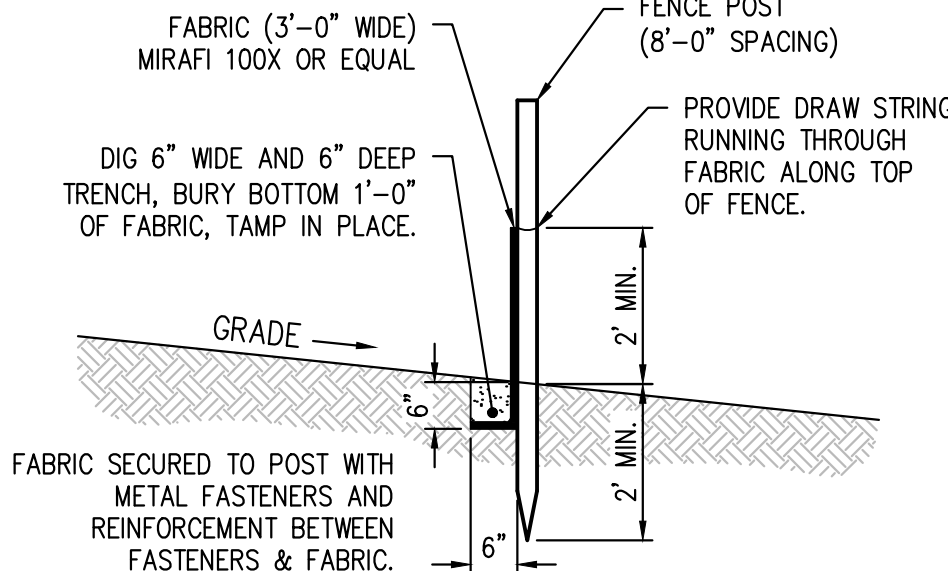


DRIVEWAY APRON DETAIL

N.T.S.

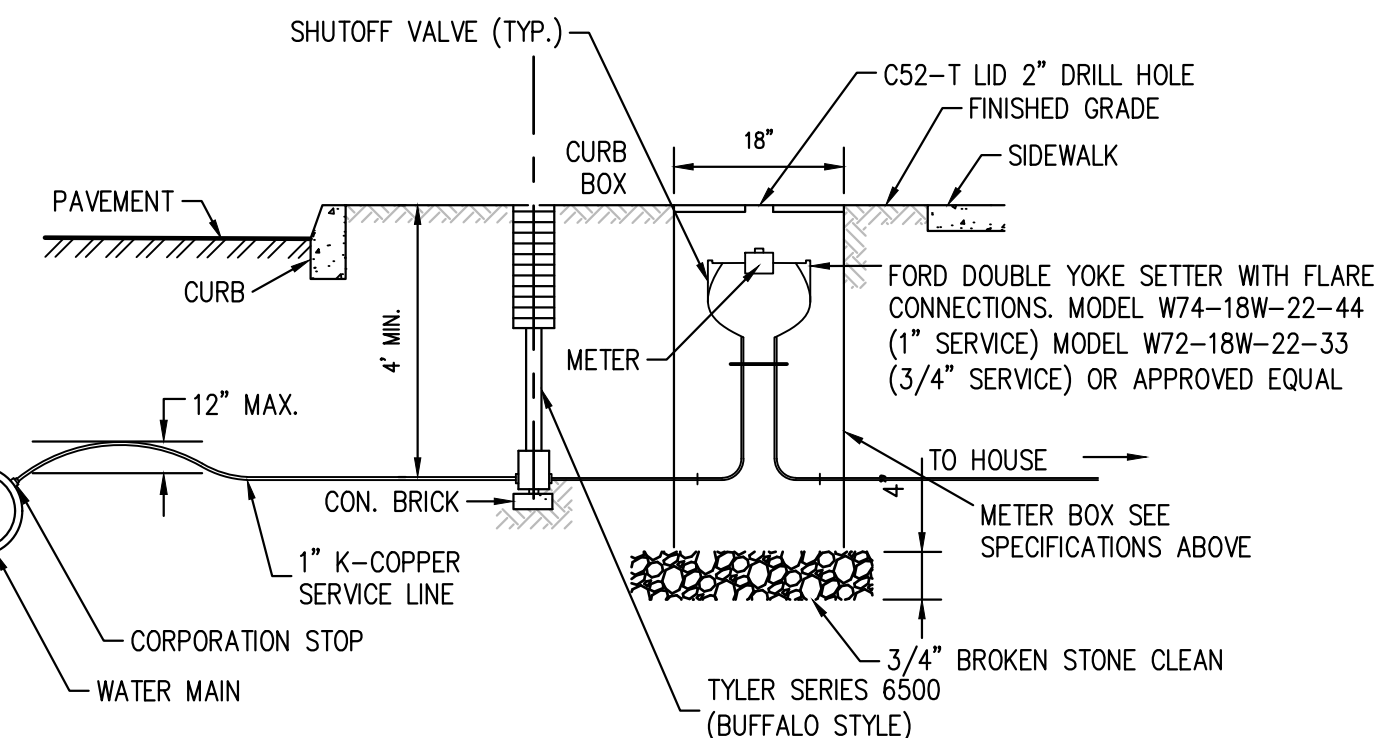


SITE PLAN



REGULAR SILT FENCE DETAIL

N.T.S.



NOTES:

1. METER PIT AND CURB BOX MUST BE INSTALLED BETWEEN THE CURB AND SIDEWALK. METER SHALL BE INSTALLED 18" BELOW FINISHED GRADE.
2. METER SHALL MEET APPROVAL OF ACMUA.

WATER SERVICE AND METER PIT DETAIL

N.T.S.

ZONING SCHEDULE

ORDA TOURISM DISTRICT LAND DEVELOPMENT RULES SECTION	RC ZONE RESORT COMMERCIAL	PERMITTED OR REQUIRED	PROPOSED IMPROVEMENTS	CONFORMITY STATUS
19:66-5.10(a)1.i (7)	USE	RESTAURANTS/BARS, HOTELS, MULTIFAMILY, MIXED USE	ATTACHED SINGLE FAMILY	DNC
19:66-5.10(a) 1.iv (1)	MAXIMUM HEIGHT	PRINCIPAL BUILDING 300' ABOVE BFE ACCESSORY STRUCTURE 35' ABOVE BFE	50' ABOVE BFE	C
19:66-5.10(a) 1.iv (2)	MINIMUM LOT AREA	7,500 SF	1,188 SF	DNC
19:66-5.10(a) 1.iv (3)	MINIMUM LOT DEPTH	150 FT	76 FT	DNC
19:66-5.10(a) 1.iv (4)	MINIMUM LOT WIDTH	50 FT	58 FT	DNC
19:66-5.10(a) 1.iv (5)	MINIMUM LOT FRONTAGE	50 FT	58 FT	DNC
19:66-5.10(a) 1.iv (6)	MAXIMUM BUILDING COVERAGE	70%	75%	DNC
19:66-5.10(a) 1.iv (7)	MAXIMUM IMPERVIOUS COVERAGE	80%	93%	DNC
19:66-5.10(a) 1.iv (8)	MINIMUM FRONT YARD	0' UP TO 35' IN HEIGHT 20' GREATER THAN 35' IN HEIGHT	N/A 11 FT	N/A DNC
19:66-5.10(a) 1.iv (9)	MINIMUM SIDE YARD	0' UP TO 35' IN HEIGHT 20' GREATER THAN 35' IN HEIGHT	N/A 0 FT	N/A DNC
19:66-5.10(a) 1.iv (10)	MINIMUM REAR YARD	20 FT	8 FT	DNC
19:66-5.10(a) 1.iv (11)	FLOOR AREA RATIO	N/A	N/A	N/A
19:66-5.10(a) 1.iv (12)	OPEN SPACE	N/A	N/A	N/A
19:66-5.10(a) 1.iv (13)	MAXIMUM DENSITY	MID-RISE (2-10 FLOORS) 50 DU/AC HIGH RISE (10+ FLOORS) 75 DU/AC	27.3 DU/AC N/A	C N/A
19:66-5.8 (b) 4 NJAC 5:21-4.14	MINIMUM ONSITE PARKING (SEE PARKING CALCULATIONS)	2 SP/UNIT	2 SP/UNIT	C

DNC = DOES NOT CONFORM, VARIANCE REQUIRED  
ENC = EXISTING NON-CONFORMING

PARKING CALCULATION:

PURSUANT TO RSIS NJAC 5:21-4.14, TABLE 4.4, RESIDENTIAL UNITS OF 3 BR ARE REQUIRED TO PROVIDE 2.0 SPACES PER UNIT.



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NJ CERTIFICATE OF AUTHORIZATION NO. 24C428290700

**145-147 S. SOUTH CAROLINA ATTACHED SINGLE FAMILY**  
MINOR SITE & VARIANCE PLANS  
145-147 S. SOUTH CAROLINA AVENUE, BLOCK 57 LOTS 7 & 8  
ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY  
**SITE, GRADING & UTILITY PLAN**  
**MILO SCHAEFER**  
631 HOLLY HILL DRIVE  
BRIELLE, NJ 08730

PROJECT NO.	DRAWING NO.
MIL 001.01	C0101
SCALE	SHEET
AS SHOWN	3 OF 4
DATE	BY
06/24/2025	JTS
1	INITIAL SUBMISSION
ISSUE NO.	SUBMISSION/REVISION
	BAS
	BY
	APPR.



