

CARING INC.

PROPOSED SITE RENOVATIONS

BLOCK 174 LOTS 3, 4, 8

ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

- INDEX OF SHEETS:
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 - C-3 SITE DEVELOPMENT PLAN - IOWA AVENUE
 - C-4 SOIL EROSION & SEDIMENT CONTROL PLAN
 - C-5 SITE DETAILS

Approved by Resolution # _____	Date: _____
CRDA Planner _____	Date: _____
CRDA Engineer _____	Date: _____
CRDA Land Use Regulation & Enforcement Officer _____	Date: _____
CRDA Hearing Officer _____	Date: _____

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ARTHUR PONZIO CO. RESPONSIBILITIES DO NOT INCLUDE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTORS COMPLIANCE WITH CONSTRUCTION DOCUMENTS.

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
REVISIONS							

APCO ARTHUR PONZIO CO.
ENGINEERS & SURVEYORS
PLANNERS

400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

J. Barnhart
JON J. BARNHART
PROFESSIONAL PLANNER N.J. NO. 33LI00581500
PROFESSIONAL ENGINEER N.J. NO. GE43483

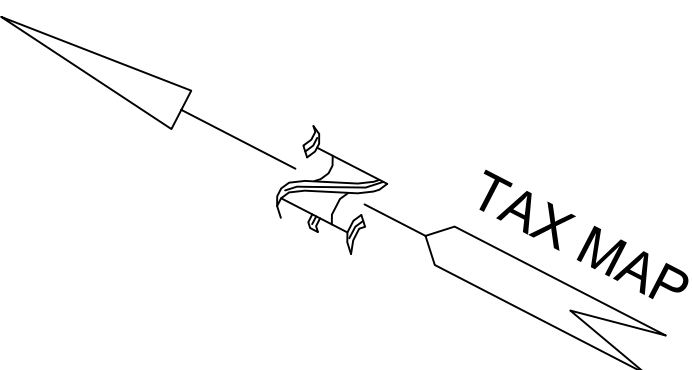
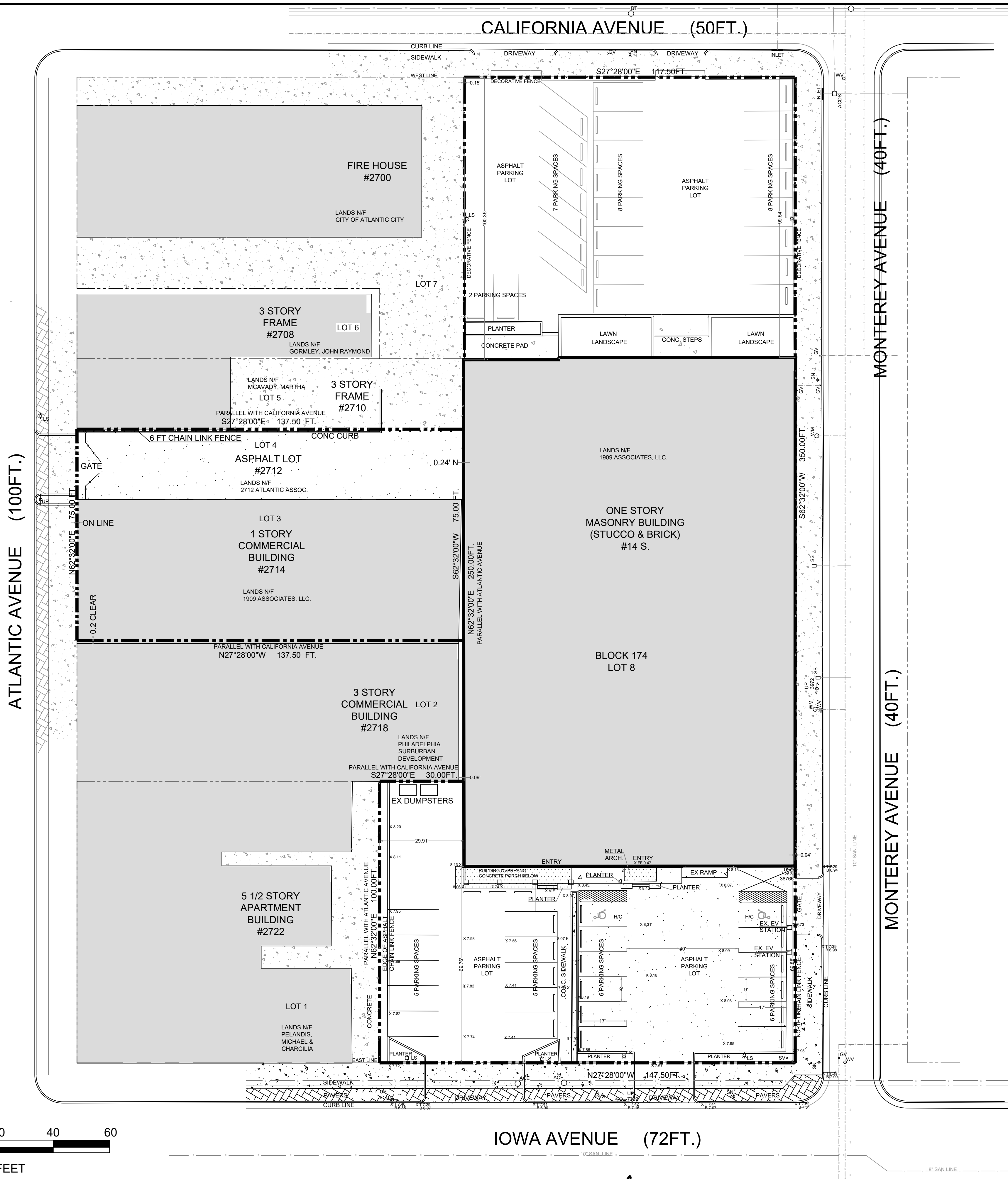
Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
PROFESSIONAL PLANNER N.J. NO. 33LI00267600
PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

TITLE SHEET / AREA MAPS
BLOCK 174 LOT 3, 4, 8
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE
DATE: 10-5-24

BY: JJB
PROJ. NO.: 40709

SHEET NO.
C-1
SHEET 1 of 5



GENERAL NOTES

- SUBJECT PROPERTY LIES IN FIA FIRM ZONE A8 AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THIS COMMUNITY.
- SUBJECT PROPERTY CONTAINS A CALCULATED AREA AS SHOWN.
- PERMANENT MARKERS HAVE BEEN OMITTED.
- OFFSETS SHOWN ARE GIVEN FOR CHECKING COMPLIANCE WITH DEED RESTRICTIONS AND ZONING REGULATIONS ONLY. OFFSETS SHALL NOT BE USED FOR ANY OTHER PURPOSES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY IF THE OFFSETS SHOWN ARE USED OTHER THAN AS INTENDED.
- THIS PROPERTY IS SUBJECT TO DOCUMENTS OF RECORD, UNDERGROUND IMPROVEMENTS, EASEMENTS, PROPERTY LINE AGREEMENTS OR OTHER CONDITIONS UNKNOWN TO THE SURVEYOR ARE NOT SHOWN. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD ANY SUCH INFORMATION BECOME AVAILABLE.
- SURVEYOR'S SIGNATURE AND SEAL SIGNIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION. ONLY SIGNED SEALED COPIES SHALL BE CONSIDERED AS TRUE COPIES.
- THE ILLUSTRATION OF RIPARIAN CLAIMS OR RIGHTS, OR UNREGULATED OR REGULATED WETLANDS IMPACTING SUBJECT PROPERTY, IF ANY, ARE NOT INCLUDED AS A PART OF SURVEYOR'S CONTRACT WITH CLIENT. SURVEYOR RESERVES THE RIGHT TO MODIFY THIS SURVEY SHOULD CLIENT REQUEST THESE ADDITIONAL SERVICES.
- THIS SURVEY HAS BEEN PREPARED ONLY FOR THE USE OF THE NAMED PARTIES. SURVEYOR SHALL NOT HAVE ANY LIABILITY OR RESPONSIBILITY FOR USE WITH SURVEY AFFIDAVIT, OR FOR USE BY ANY OTHER PERSON OR ENTITY NOT SPECIFICALLY NAMED, FOR ANY REASONS OTHER THAN AS ORIGINALLY INTENDED.
- THE DETECTION, LOCATION OR IDENTIFICATION OF HAZARDOUS SUBSTANCES IS NOT INCLUDED AS PART OF SURVEYOR'S CONTRACT WITH CLIENT.
- ELEVATIONS ON THIS PLAN REFLECT NGVD1929 DATUM.
- SITE BENCHMARK IS LOCATED AT THE SOUTH EAST CORNER OF IOWA AND PACIFIC AVENUE.

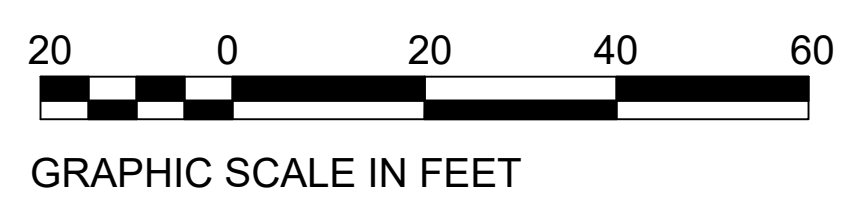
SURVEY REFERENCES:

- DEED IN BOOK 6305 PG. 303.
- ATLANTIC CITY TAX MAP SHEET NO. 32.
- PLAN OF A PORTION OF ATLANTIC CITY, NJ "CURB ELEVATIONS & STORM WATER DRAINS" 10/1968.
- STORM - SANITARY SEWER SYSTEMS MAP BY ALEXANDER CHRUCHILL, 3-13-93.

NOTE: THIS DRAWING IS INTENDED FOR CITY APPROVAL PURPOSES AND NOT TO BE USED AS A CONSTRUCTION DOCUMENT.

EXISTING UTILITIES LEGEND
 S = SANITARY SEWER CLEAN-OUT
 SS = SANITARY SEWER MANHOLE
 E = ELECTRIC METER
 WV = WATER VALVE
 WM = WATER METER
 GV = GAS VALVE
 TL = TRAFFIC LIGHT
 UP = UTILITY POLE
 HYD = FIRE HYDRANT
 LS = LIGHT STAND
 BT = BELL TELL MANHOLE
 SN = SIGN
 ACE = ATLANTIC CITY ELECTRIC MANHOLE
 SV = SPRINKLER VALVE

ELEVATION LEGEND
 X.XX' = EXISTING SPOT ELEVATION
 X.XX' BC = EXISTING BOTTOM OF CURB ELEVATION
 X.XX' TC = EXISTING TOP OF CURB ELEVATION



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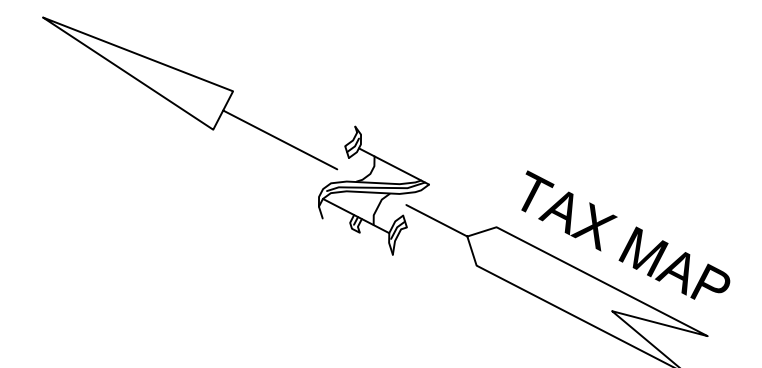
ARCO ARTHUR PONZIO CO.
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 NEW JERSEY STATE AUTH. NO.: 24GA28001300

Jon J. Barnhart
JON J. BARNHART
 PROFESSIONAL PLANNER N.J. NO. 33L100581500
 PROFESSIONAL ENGINEER N.J. NO. GE43483

Arthur W. Ponzio, Jr.
ARTHUR W. PONZIO, JR.
 PROFESSIONAL PLANNER N.J. NO. 33L100267600
 PROFESSIONAL LAND SURVEYOR N.J. NO. 24GS02831400

PROPERTY SURVEY
 BLOCK 174 LOT 3, 4, 8
 ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY
 SCALE: 1" = 20'
 DATE: 10-5-24
 BY: JJB
 PROJ. NO.: 40709

SHEET NO.
C-2
 SHEET 2 of 5



GENERAL NOTES:

- OWNER / APPLICANT:
CARING INC.
- PROPERTY INFORMATION:
TOTAL LOT AREA = 44125 SF
FLOOD ZONE = A-8
EXISTING USE = EXISTING OFFICE SPACE
ZONING = RC
- PROJECT TEAM:
ATTORNEY: HANK N. ROVILLARD, ESQ.
PLANNER/ENGINEER: ARTHUR PONZIO CO.
ARCHITECT: WATG SOSH ARCHITECTS
LANDSCAPE ARCHITECT: J. ADAMSON ASSOC.
- INTENT OF APPLICANT:
APPLICANT INTENDS TO RENOVATE THE EXISTING PARKING AREAS AS SHOWN. RENOVATE THE EXISTING FACADE, REPLACE SITE LIGHTING, ADD WALL SIGNAGE AND INSTALL NEW LANDSCAPE ELEMENTS. SITE IS CURRENTLY OCCUPIED BY CARING INC.
- PARKING TO BE RECONFIGURED AS SHOWN
- SIGNAGE:
ALL SIGNAGE PER ARCHITECT
- UTILITY CONNECTIONS:
ALL UTILITY CONNECTIONS EXIST AND TO BE UTILIZED.
- MISCELLANEOUS:
A) ALL BROKEN SIDEWALK, GRANITE CURBING AND GUTTERS ALONG THE PROPERTY FRONTAGES MUST BE REPLACED.
B) A STREET OPENING PERMIT SHALL BE OBTAINED FROM THE OFFICE OF THE ATLANTIC CITY ENGINEER BEFORE COMMENCING WITH ANY WORK IN THE CITY'S RIGHT OF WAY.
C) APPLICANT SHALL POST THE REQUIRED PERFORMANCE BOND WITH THE CITY OF ATLANTIC CITY COVERING ALL WORK PROPOSED WITHIN THE PUBLIC RIGHT-OF-WAY AREAS. BOND SHALL BE POSTED AND ACCEPTED PRIOR TO THE INITIATION OF ANY WORK ON THE PROJECT.
D) ALL CONSTRUCTION ON THE PROJECT SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE MINIMUM STANDARD DETAILS ON FILE IN THE OFFICE OF THE ATLANTIC CITY ENGINEER.

ZONING SCHEDULE (RC DISTRICT)

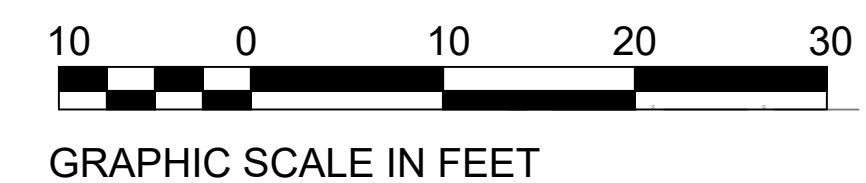
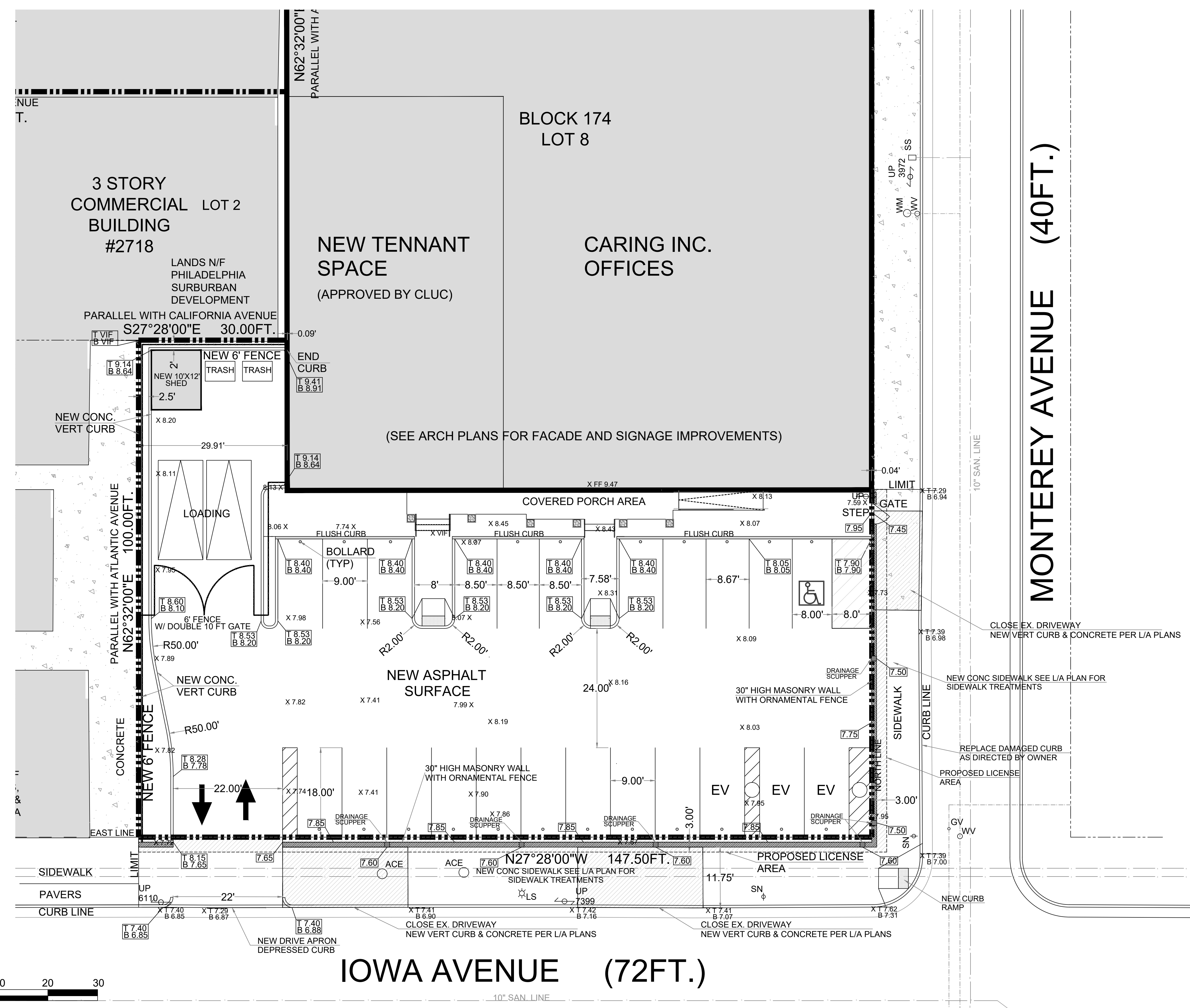
ITEM	REQUIRED	PROPOSED	STATUS
LOT AREA	7500 SF	44125 SF	C
LOT DEPTH	150 FT	350 FT	C
LOT WIDTH	50 FT	147.5 FT	C
LOT FRONTAGE	50 FT	147.5 FT	C
BUILDING COVERAGE	70%	64%	C
IMPERVIOUS COVERAGE	80%	96%	ENC
FRONT YARD (IOWA)	0 FT / 20 FT*	0 FT	C
FRONT YARD (MONTEREY)	0 FT / 20 FT*	0 FT	C
REAR YARD (SHED)	20 FT	2 FT	V
SIDE YARD (SHED)	0 FT / 20 FT*	2.5 FT	C
FAR	N/A	N/A	C
OPEN SPACE	N/A	N/A	C
DENSITY	50 DU/A	N/A	C

* ZERO SETBACK REQUIRED UP TO HEIGHT OF 35 FT. 20 FT SETBACK REQUIRED ABOVE 35 FT
LEGEND:
C - CONFORMING
V - VARIANCE

NEW SIGNAGE

WALL SIGNS:	STATUS:
TWO WALL SIGNS ON IOWA AVE @ LESS THAN 25% OF WALL AREA	V

LEGEND:
C - CONFORMING
V - VARIANCE



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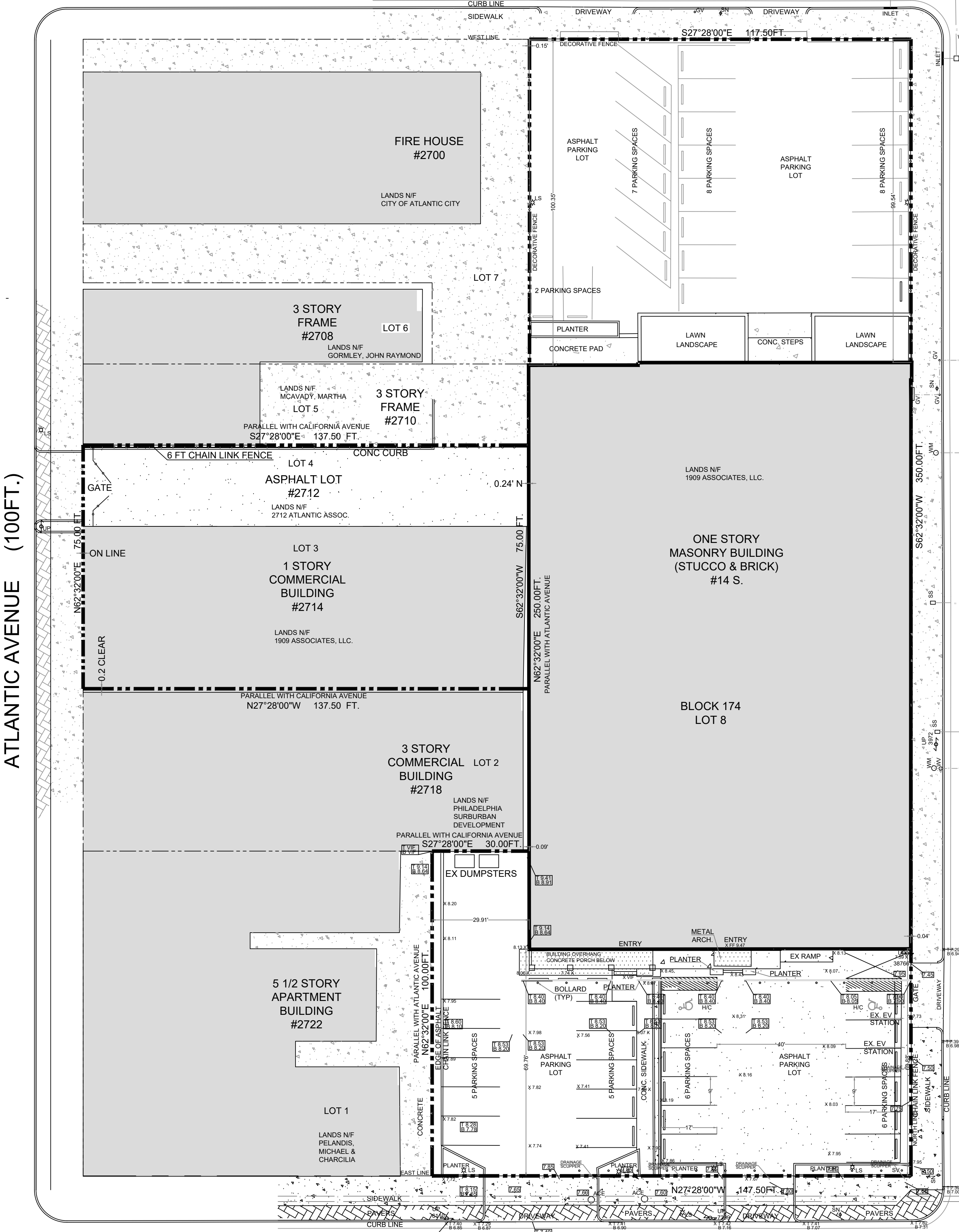
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SITE DEVELOPMENT PLAN - IOWA AVE
BLOCK 174 LOT 3, 4, 8
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY
SCALE: 1" = 10'
DATE: 10-5-24
BY: JJB
PROJ. NO.: 40709

SHEET NO.
C-3
SHEET 3 of 5

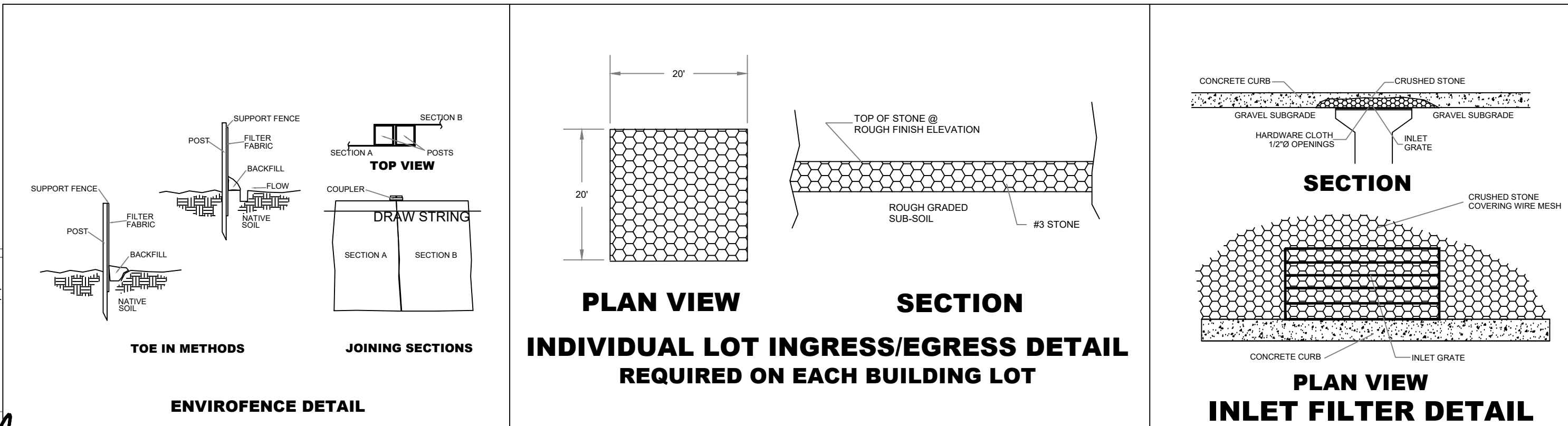
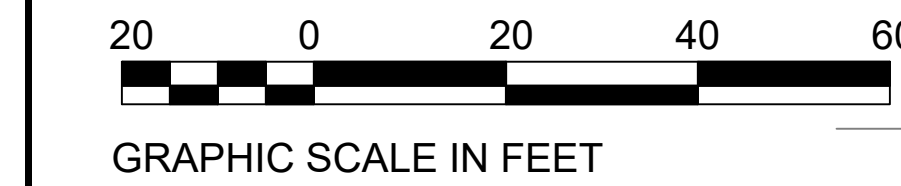
CALIFORNIA AVENUE (50FT.)

MONTEREY AVENUE (40FT.)



IOWA AVENUE (72FT.)

MONTEREY AVENUE (40FT.)



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SOIL EROSION & SEDIMENT CONTROL PLAN BLOCK 174 LOT 3, 4, 8. SCALE: 1" = 20'. DATE: 10-5-24. BY: JUB. PROJ. NO.: 40709. SHEET 4 of 5.

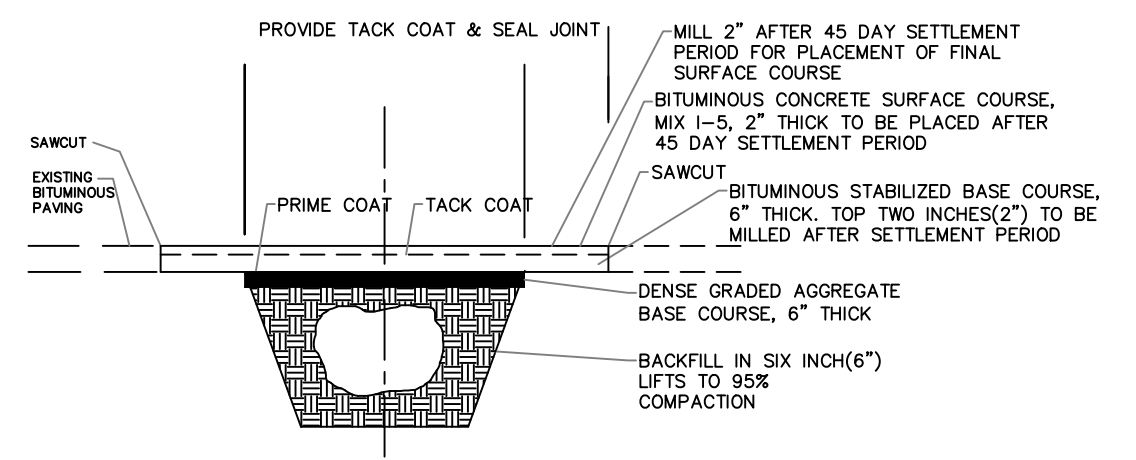
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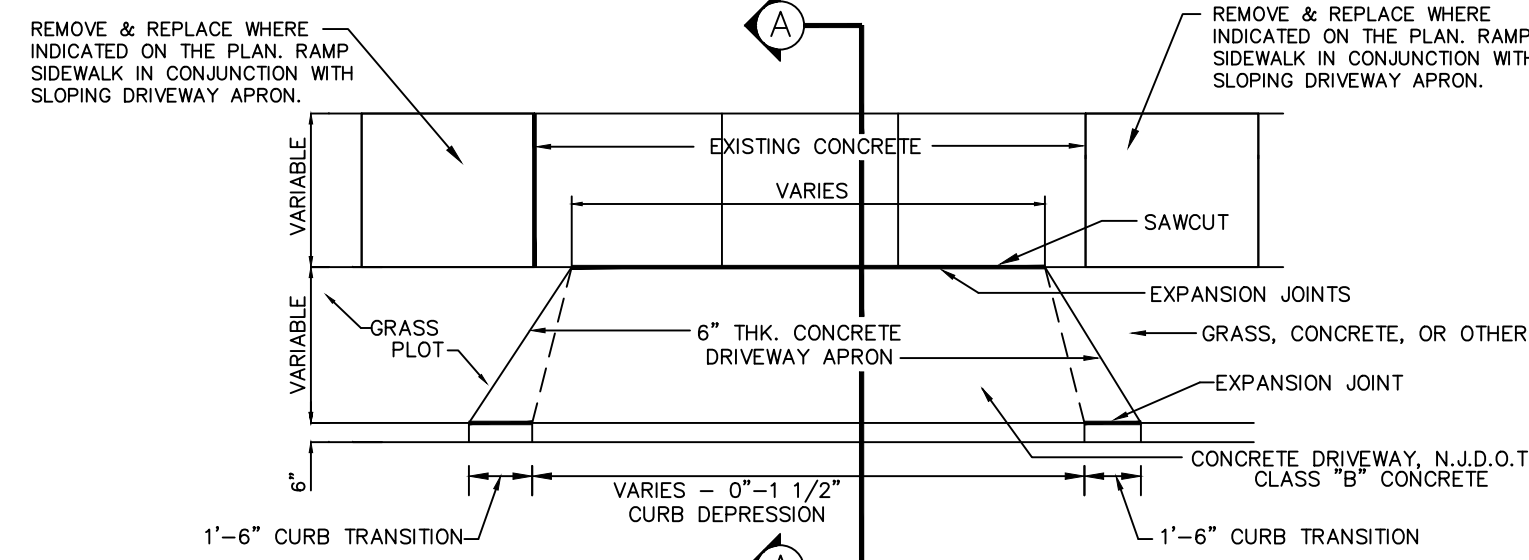
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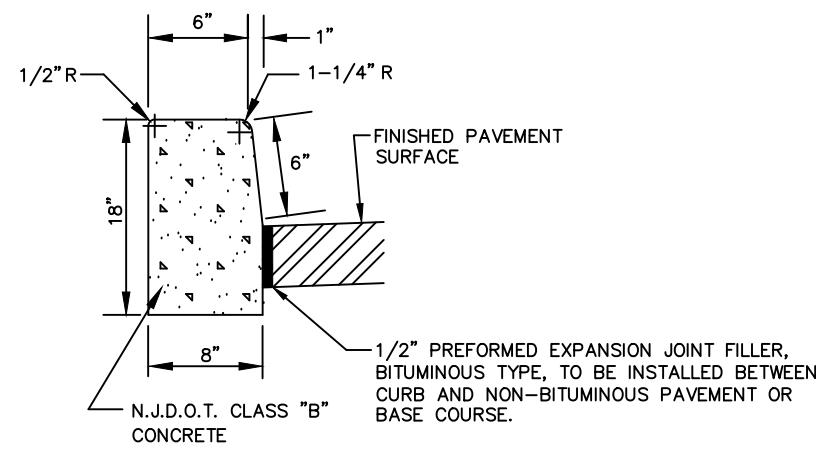
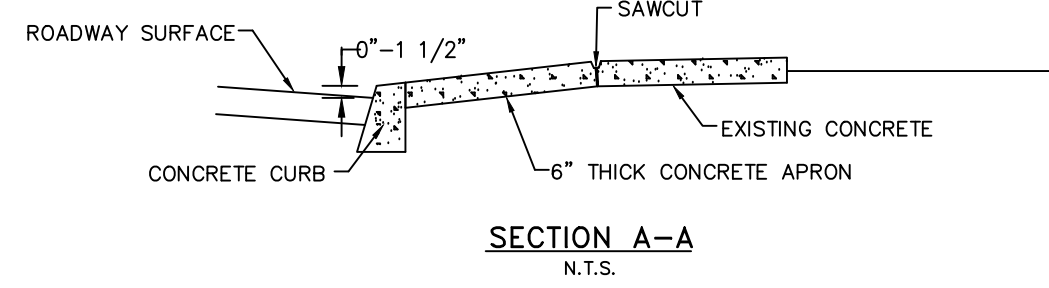
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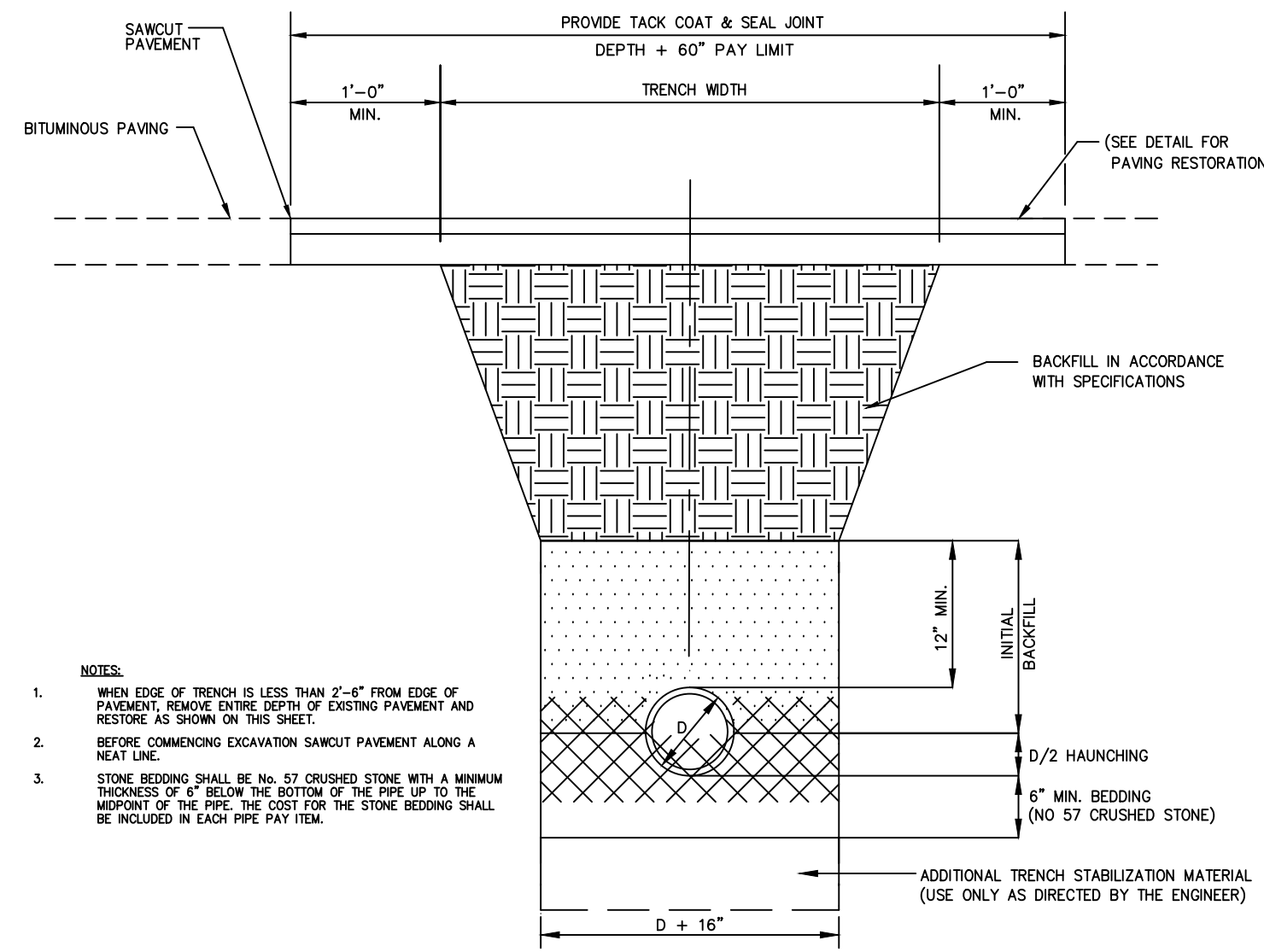
STREET RESTORATION
(GREATER THAN 100 SQUARE FEET)
N.T.S.



CONCRETE DRIVEWAY APRON & DEPRESSED CURB DETAIL
N.T.S.

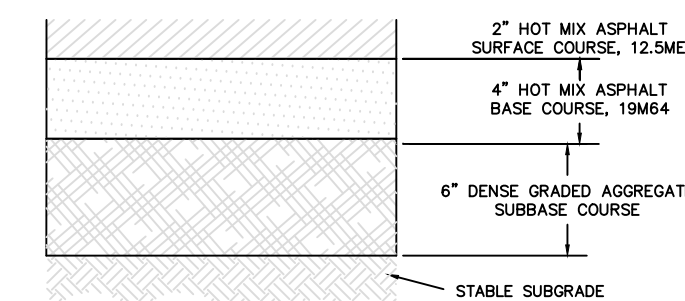


6" x 8" x 18" CONCRETE CURB
N.T.S.

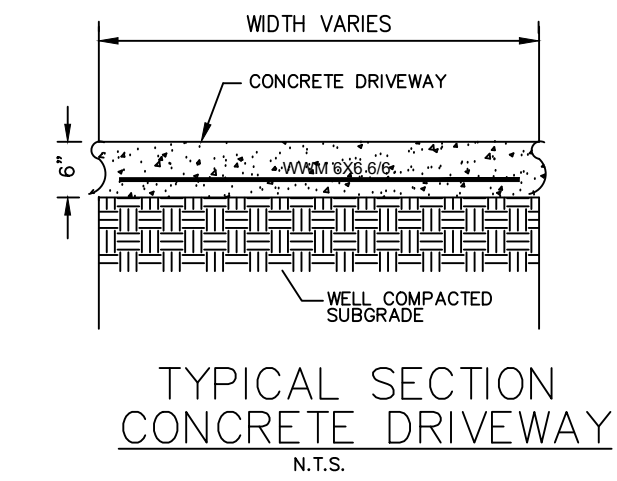


TYPICAL INSTALLATION AND RESTORATION TRENCH DETAIL FOR P.V.C./D.I. PIPE UNDER PAVED AREAS
N.T.S.

- NOTES:**
1. THICK EDGE OF TRENCH IS LESS THAN 2'-0" FROM EDGE OF PAVEMENT. REMOVE ENTIRE DEPTH OF EXISTING PAVEMENT AND RESTORE AS SHOWN ON THIS SHEET.
 2. BEFORE COMMENCING EXCAVATION SAWCUT PAVEMENT ALONG A NEAR SIDE.
 3. STONE BEDDING SHALL BE NO. 57 CRUSHED STONE WITH A MINIMUM THICKNESS OF 4" BELOW THE BOTTOM OF THE PIPE UP TO THE POINT OF THE PIPE. THE CURB FOR THE STONE BEDDING SHALL BE INCLUDED IN EACH PIPE PATCH ITEM.

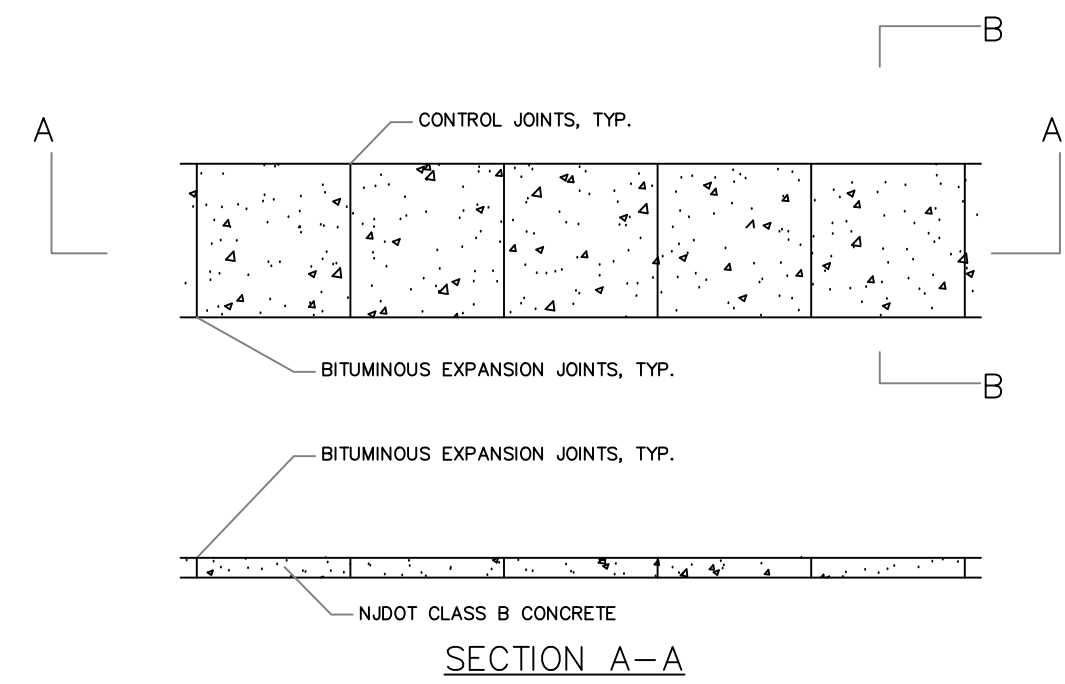


ASPHALT PAVING DETAIL - ON-SITE DRIVEWAYS
N.T.S.



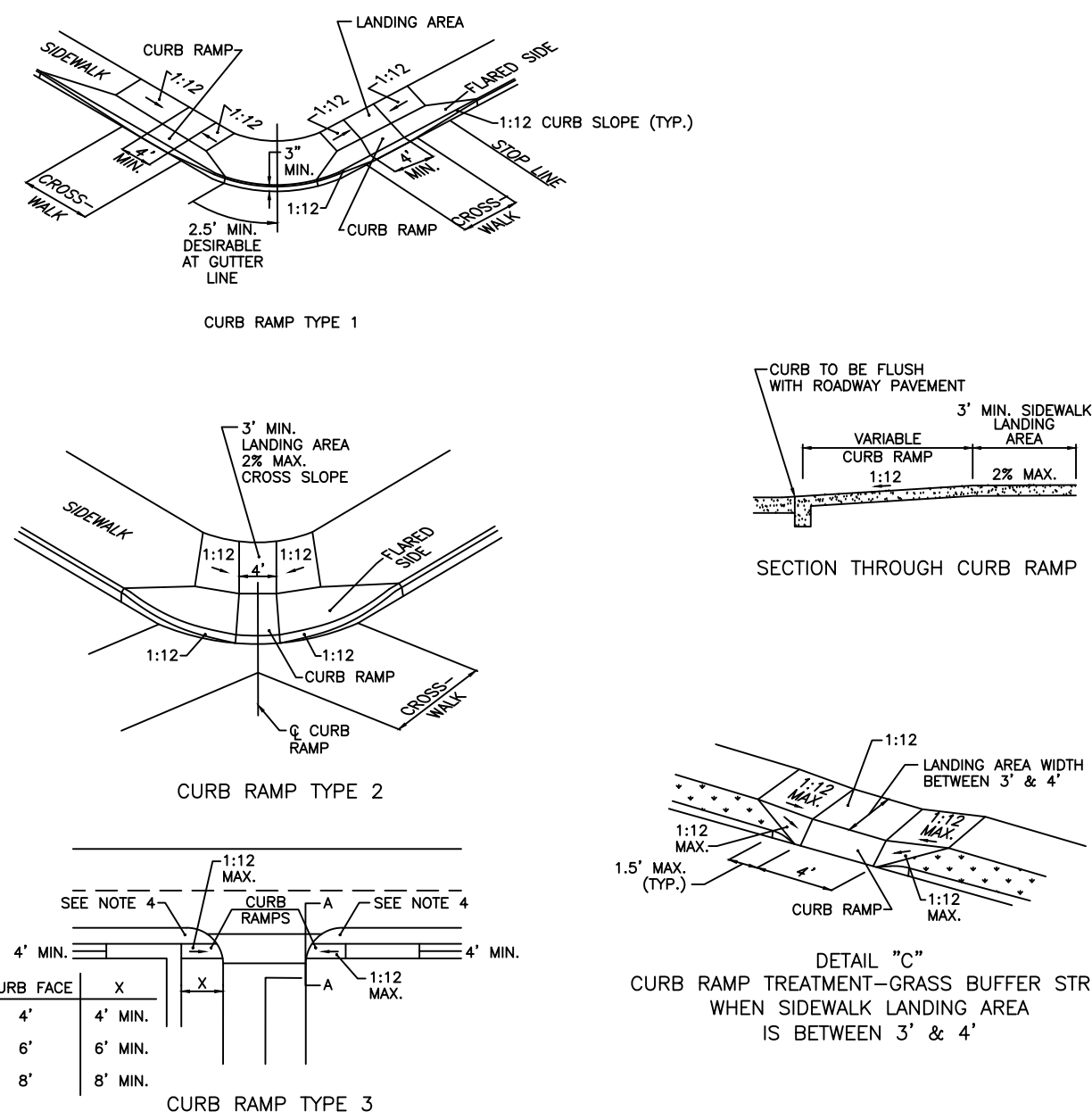
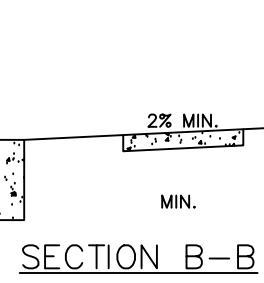
- GENERAL NOTES:**
1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 2. WHERE A GRASS BUFFER STRIP EXISTS AT A CURB RAMP TYPE 1 OR 2 LOCATION, THE FLARED SIDE SHOULD BE ALTERED AS SHOWN IN DETAIL C.
 3. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4" AT ALL CURB RAMP, EXCEPT THAT THE DETAIL "D" SHALL BE A MINIMUM OF 5" FEET.
 4. FOR CURB RAMP TYPE 3, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
 5. SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES, TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT SIZE AND KIND.
 6. CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
 7. WHERE THE DISTANCE FROM THE GUTTER TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS AT A CURB RAMP TYPE 1 OR 2 LOCATION, THE FLARED SIDE SHOULD BE ALTERED AS SHOWN IN DETAIL "D".
 8. CROSSWALK AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.

PUBLIC SIDEWALK CURB RAMPS
N.T.S.

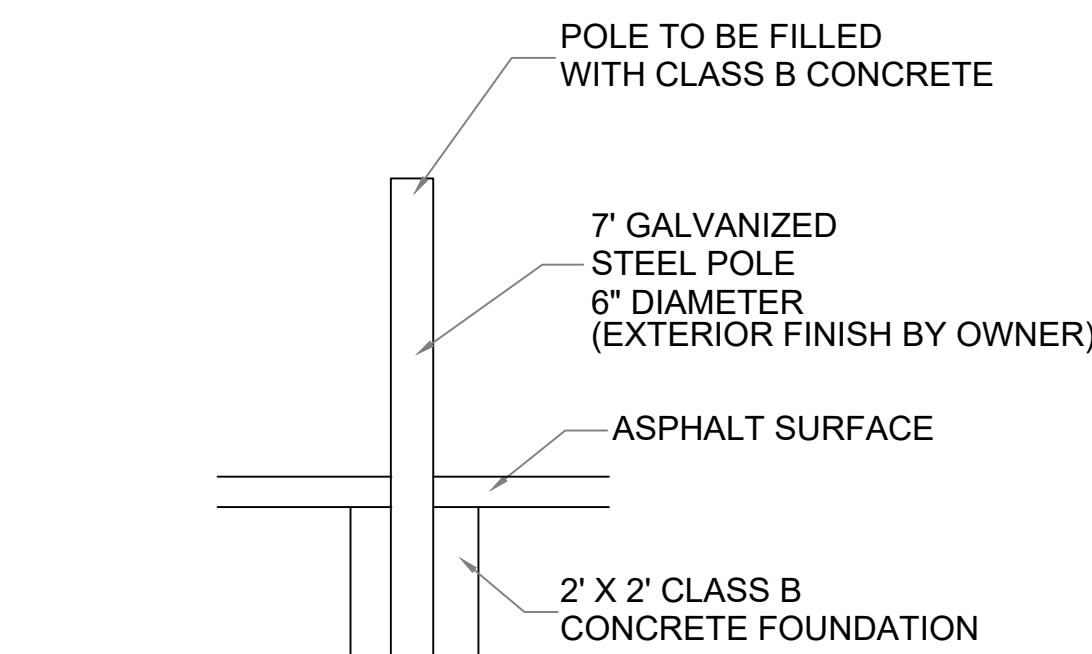


SIDEWALK DETAIL
N.T.S.

- NOTES:**
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTROL JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
 2. THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.



HANDICAP RAMP DETAILS



STEEL BOLLARD DETAIL
N.T.S.

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SITE DETAILS
BLOCK 174 LOT 3, 4, 8
ATLANTIC CITY ATLANTIC COUNTY NEW JERSEY

SCALE: NO SCALE DATE: 10-5-24
BY: JJB PROJ. NO.: 40709

SHEET NO. **C-5**
SHEET 5 of 5