

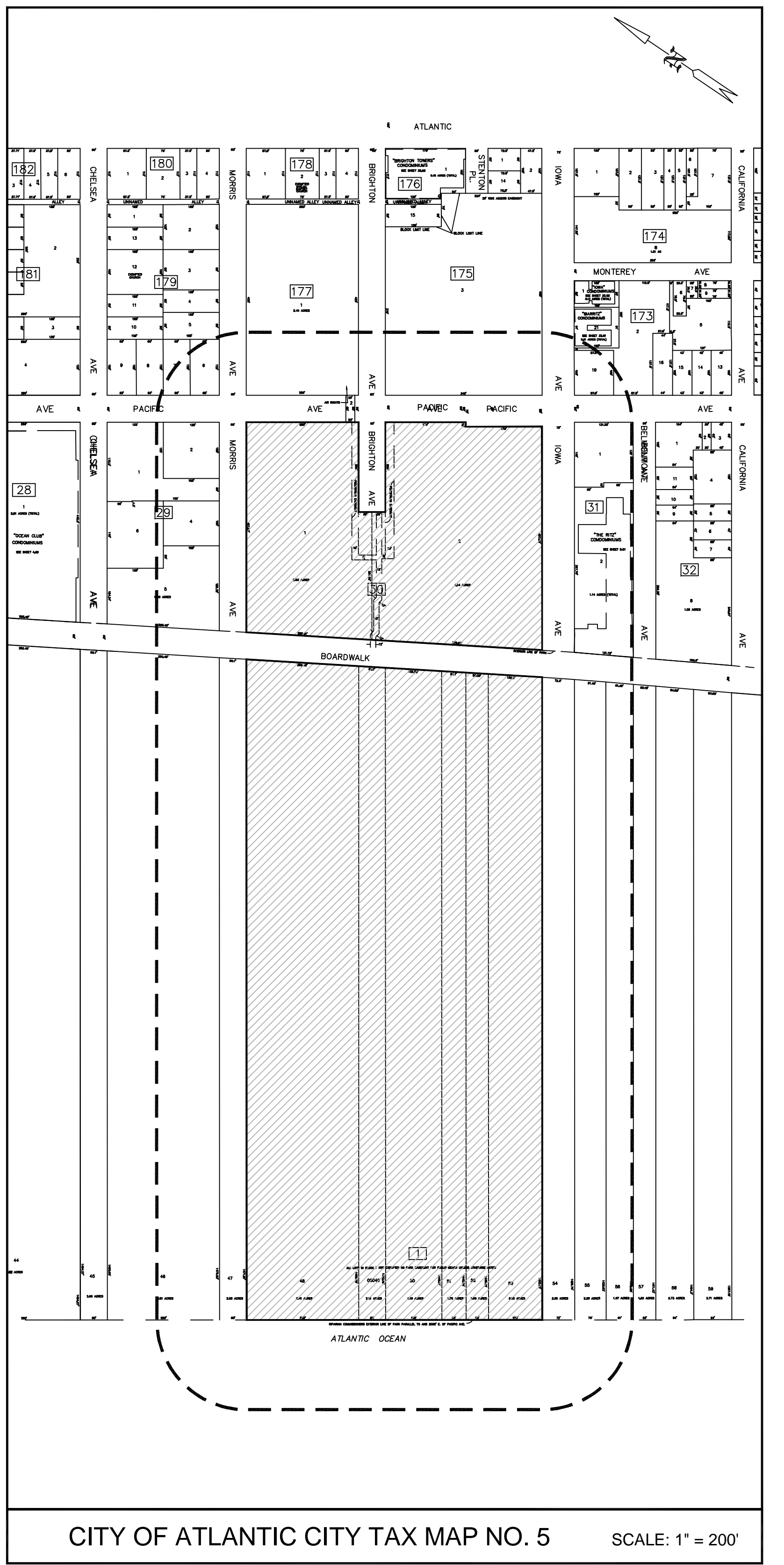
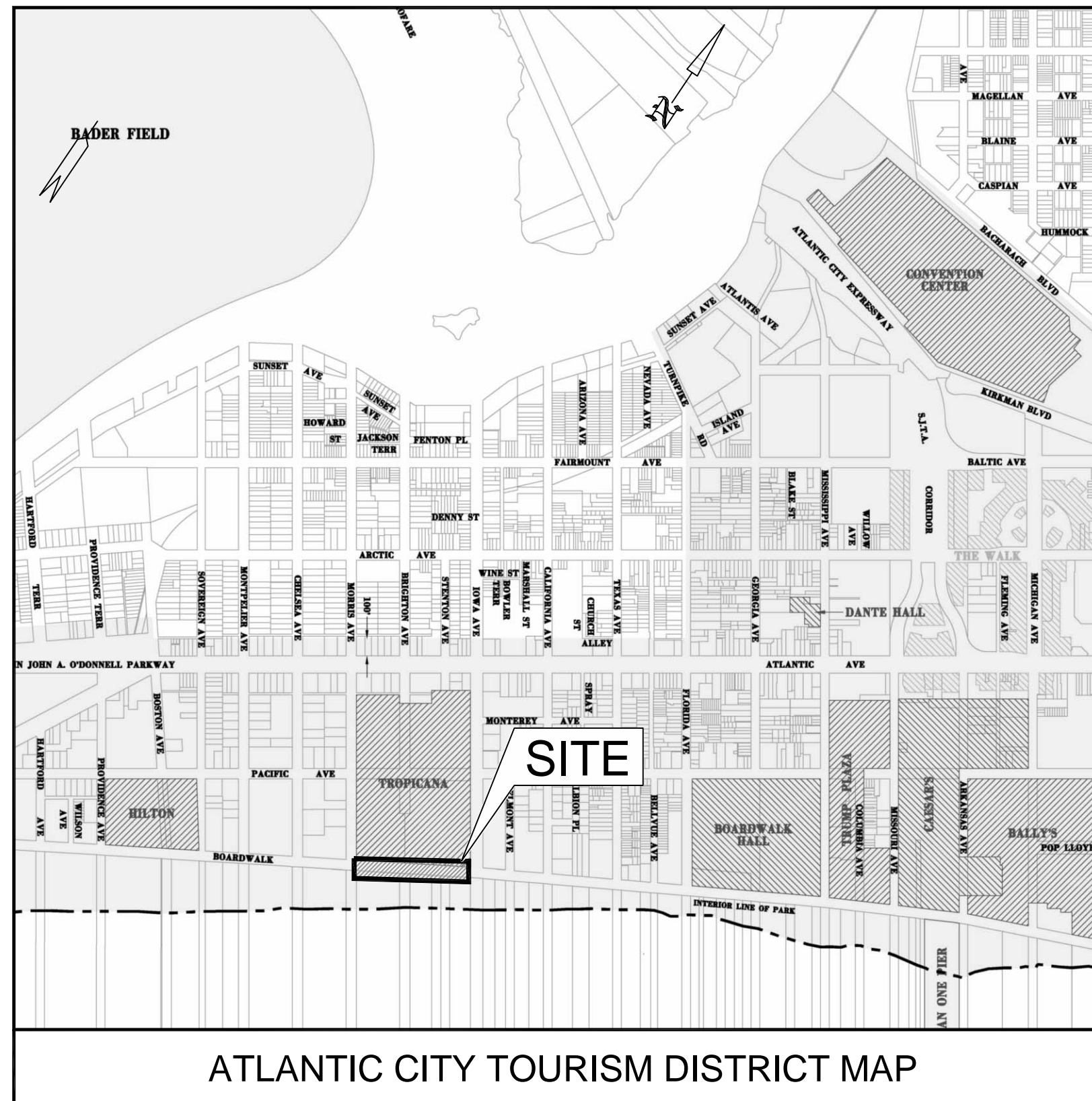
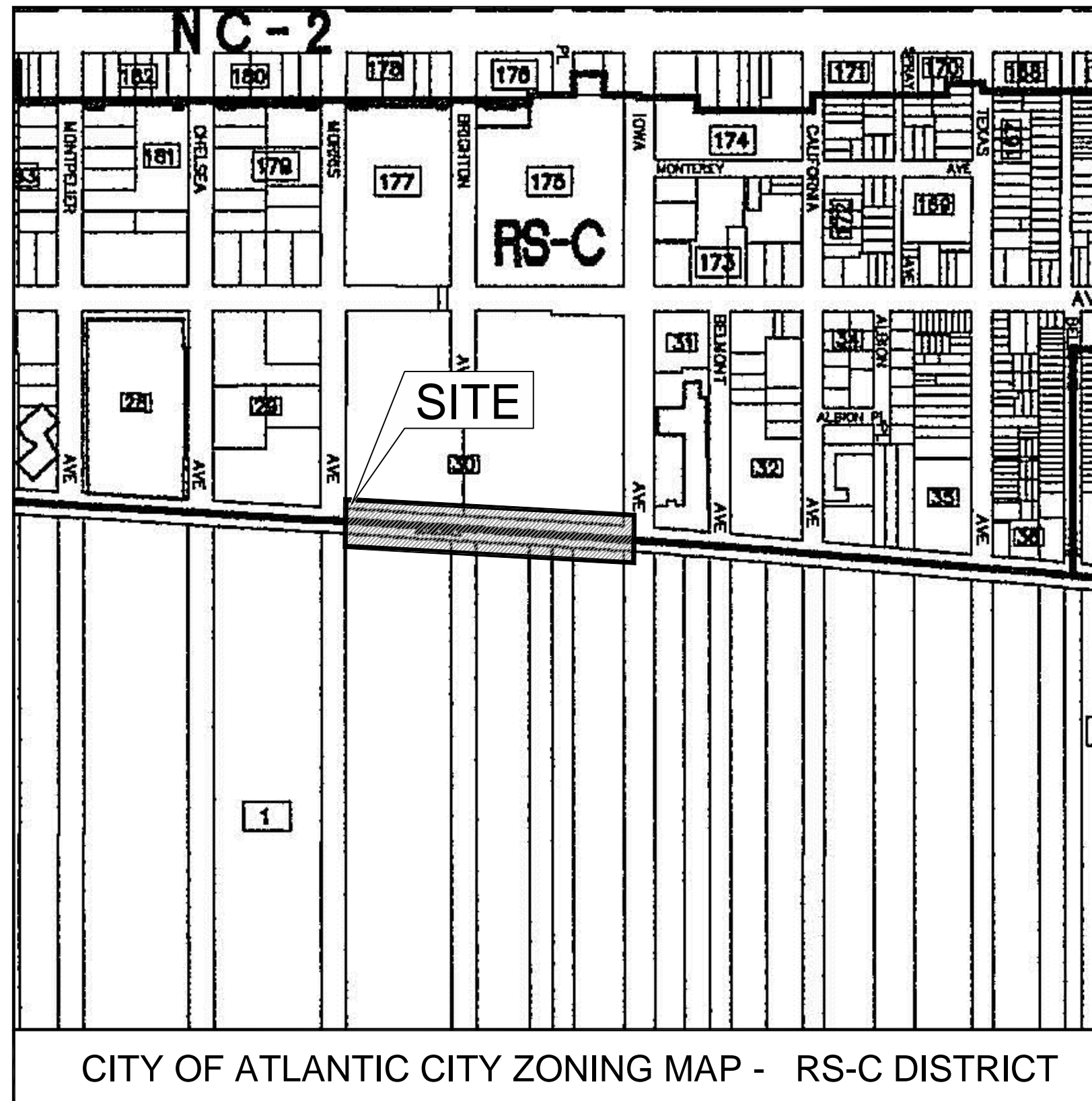
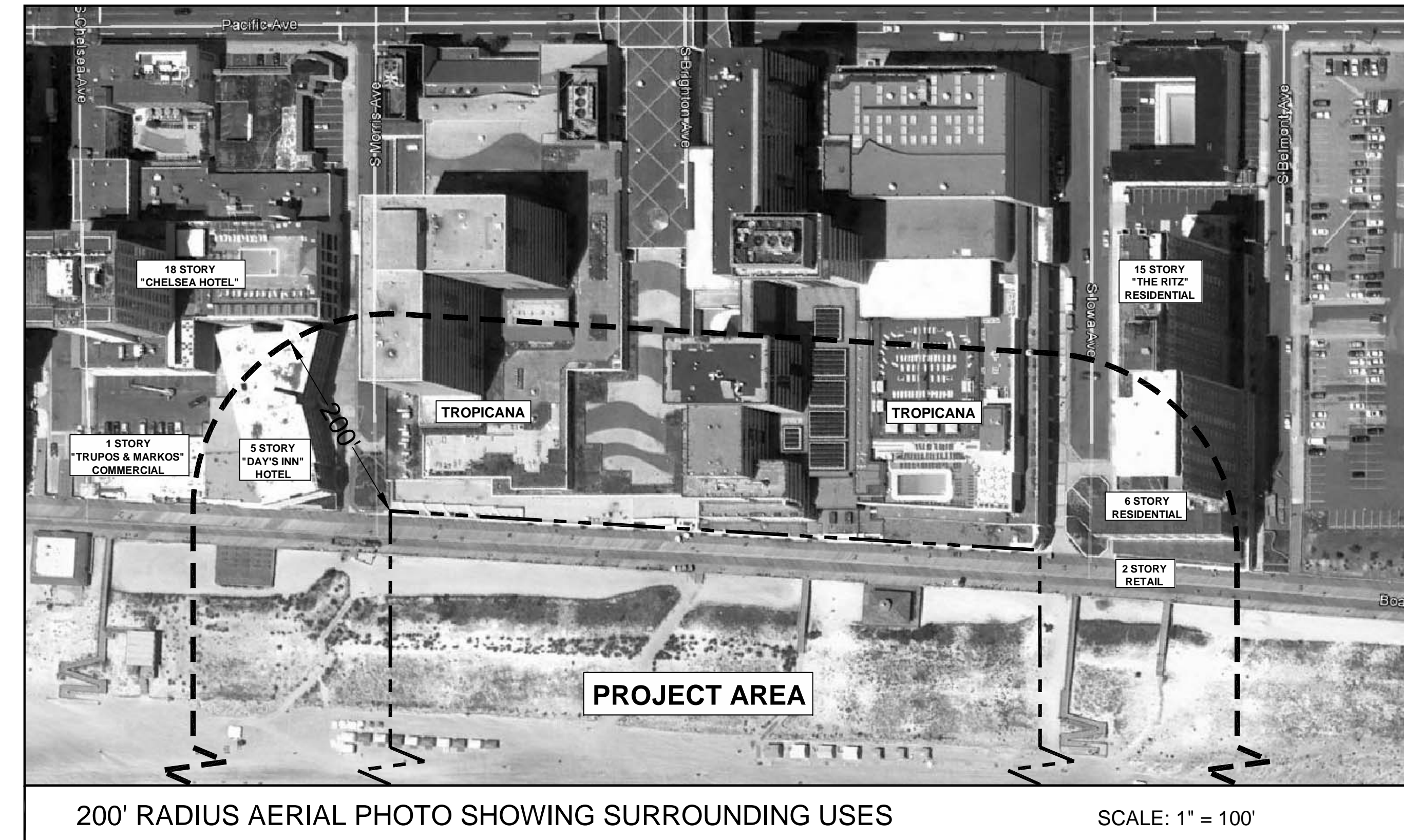
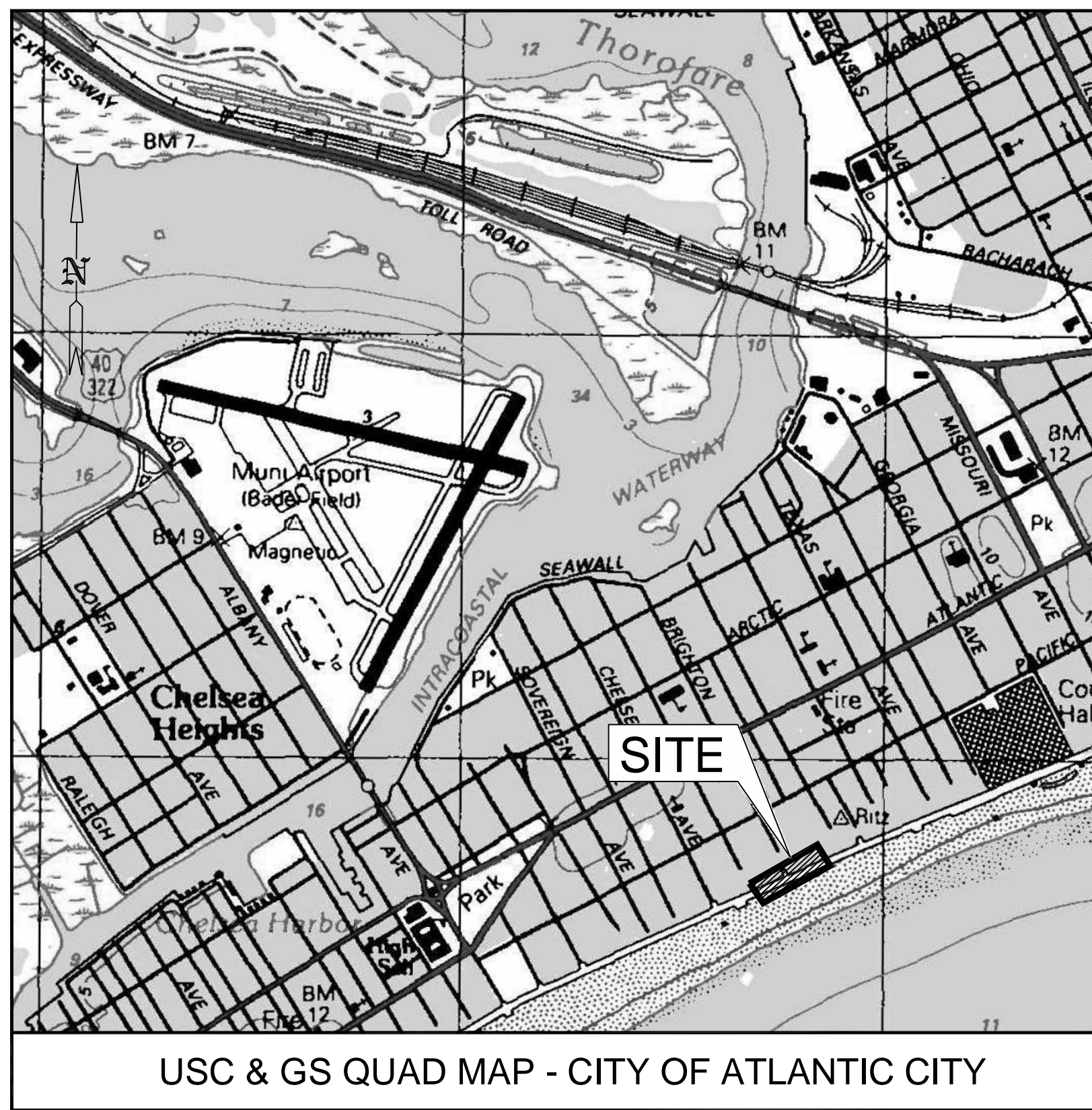
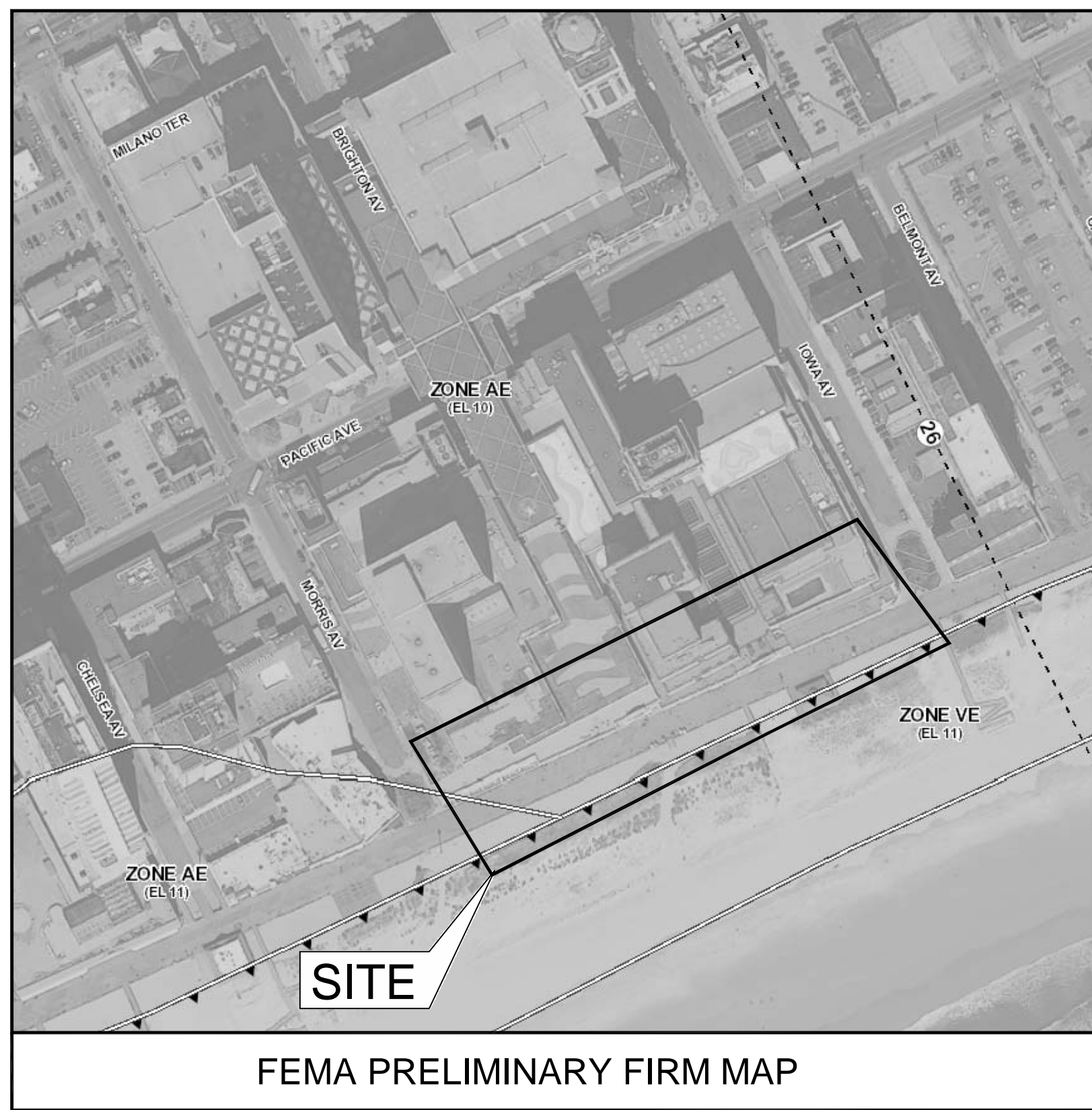
CITY OF ATLANTIC CITY
OFFICE OF THE CITY ENGINEER, SUITE 603
1115 INDEPENDENCE AVE.
ATLANTIC CITY, NEW JERSEY 08401
TEL: 609-344-1400
FAX: 609-344-1871

PLANNING & ZONING BOARD
CHECK LIST FOR COMPLETENESS

PROJECT NAME: _____ DATE: _____
LOCATION: _____ BLOCK: _____ LOT: _____

NOT SUBMITTED	SUBMITTED	DESCRIPTION	ORDINANCE SECTION	NOTES
		COMPLETE, WITH CONDITIONS		
	<input checked="" type="checkbox"/>	APPLICATION	183-87	
	<input checked="" type="checkbox"/>	JUSTIFICATION FOR VARIANCES	183-87(C)(11)	
	<input checked="" type="checkbox"/>	CERTIFIED OWNERS LIST	183-87(C)(8)	
	<input checked="" type="checkbox"/>	CERTIFICATE OF TAXES PAID	183-87(C)(3)	
	<input checked="" type="checkbox"/>	SURVEY	183-87(C)(10)	
	<input checked="" type="checkbox"/>	SITE PLAN	183-87(C)(10)	
	<input checked="" type="checkbox"/>	SHADING PLAN	183-87(C)(10)	
	<input checked="" type="checkbox"/>	UTILITY PLAN (GAS, EL, TEL, ETC)	183-87(C)(1)(C)	
	<input checked="" type="checkbox"/>	SOIL EROSION PLAN	183-87(C)(1)(F)	
	<input checked="" type="checkbox"/>	LANDSCAPING PLAN	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	LIGHTING PLAN	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	SUBDIVISION PLAN (LOT NUMBERS)	183-87(C)(2)	
	<input checked="" type="checkbox"/>	ROADWAY PROFILES & X-SECTION	183-87(C)(1)(B)	
	<input checked="" type="checkbox"/>	WATER	183-87(C)(1)(N)	
	<input checked="" type="checkbox"/>	SANITARY SEWER	183-87(C)(1)(N)	
	<input checked="" type="checkbox"/>	STORM SEWER	183-87(C)(1)(N)	
	<input checked="" type="checkbox"/>	ENGINEERING/TECHNICAL PLANS & ELEVATIONS	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	DRAINAGE/STORM SEWER CALCULATIONS	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	PHASING PLAN	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	TRAFFIC STUDY	183-87(C)(1)(P)(E)	
	<input checked="" type="checkbox"/>	ENERGY/IMPACT STATEMENT	183-87(C)(2)	
	<input checked="" type="checkbox"/>	CITY CONTROL MONUMENTS		
	<input checked="" type="checkbox"/>	FLOOD ZONE STATUS		

ATLANTIC CITY ZONING CHECKLIST



TROPICANA CASINO & RESORT BOARDWALK FACADE

ISSUED FOR NJDEP CAFRA & CRDA APPROVALS PLAN SET

Block	Lot	Property Location	Owner Name	Address	Owner City State	Owner ZIP Code
1	1	1000 BROADWAY	ATLANTIC CITY	1000 BROADWAY	ATLANTIC CITY NJ	08401
1	2	1000 BROADWAY	ATLANTIC CITY	1000 BROADWAY	ATLANTIC CITY NJ	08401
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1	4	1000 BROADWAY	ATLANTIC CITY	1000 BROADWAY	ATLANTIC CITY NJ	08401
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1	100	1000 BROADWAY	ATLANTIC CITY	1000 BROADWAY	ATLANTIC CITY NJ	08401

CIVIL SHEET SET

- C-1 TITLE SHEET / AREA MAPS
- C-2 PROPERTY SURVEY
- C-3 EXISTING CONDITIONS PLAN / PROJECT AREA
- C-4 SITE DEVELOPMENT PLAN
- C-5 SOIL EROSION & SEDIMENT CONTROL PLAN
- C-6 PUBLIC LICENSE PLAN

ARTHW. PONZIO CO. & ASSOCIATES, INC.
SURVEYORS, PLANNERS, ENGINEERS
400 NORTH DOVER AVENUE, ATLANTIC CITY, N.J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 2460A28001300

12/8/14 NZ

GENERAL REVISIONS

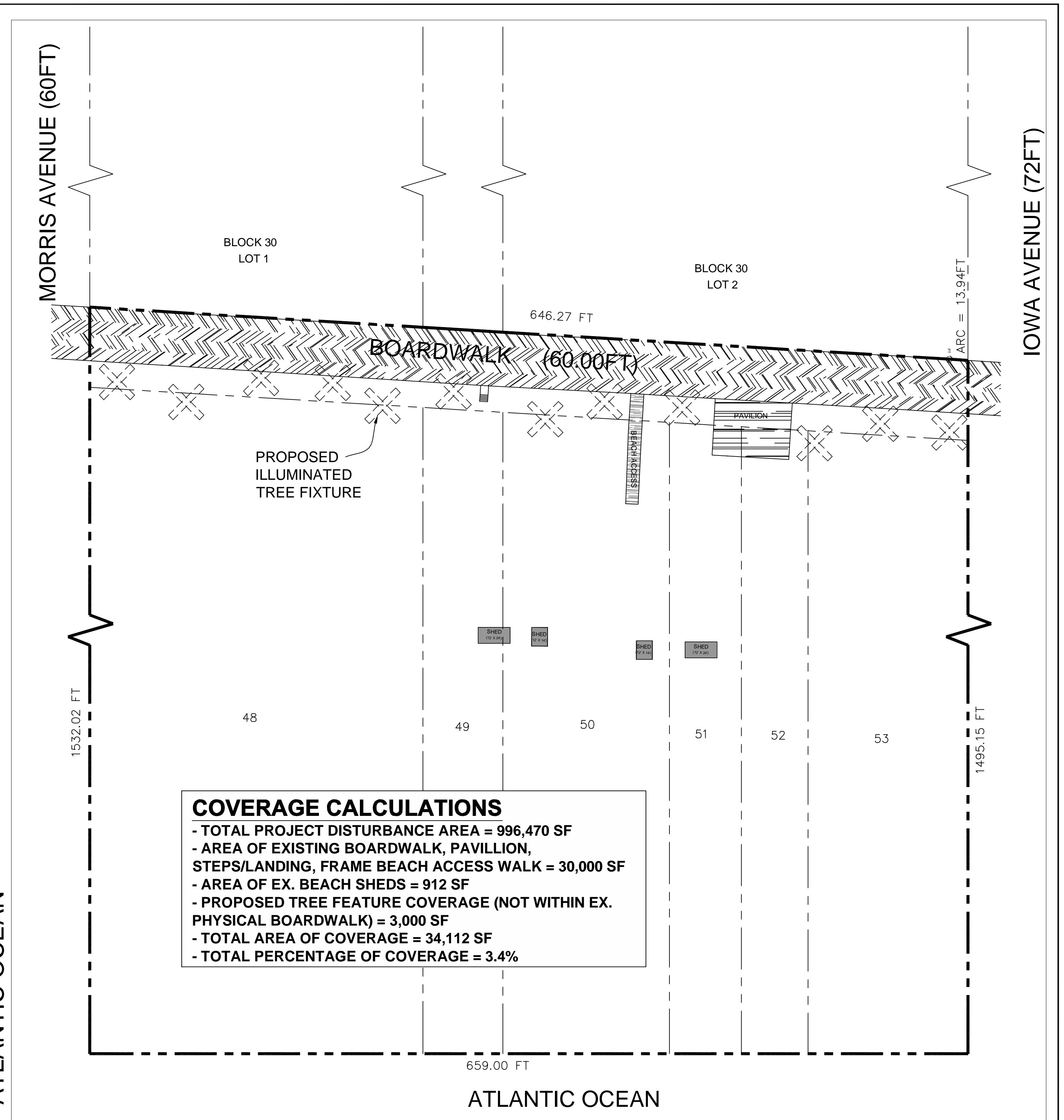
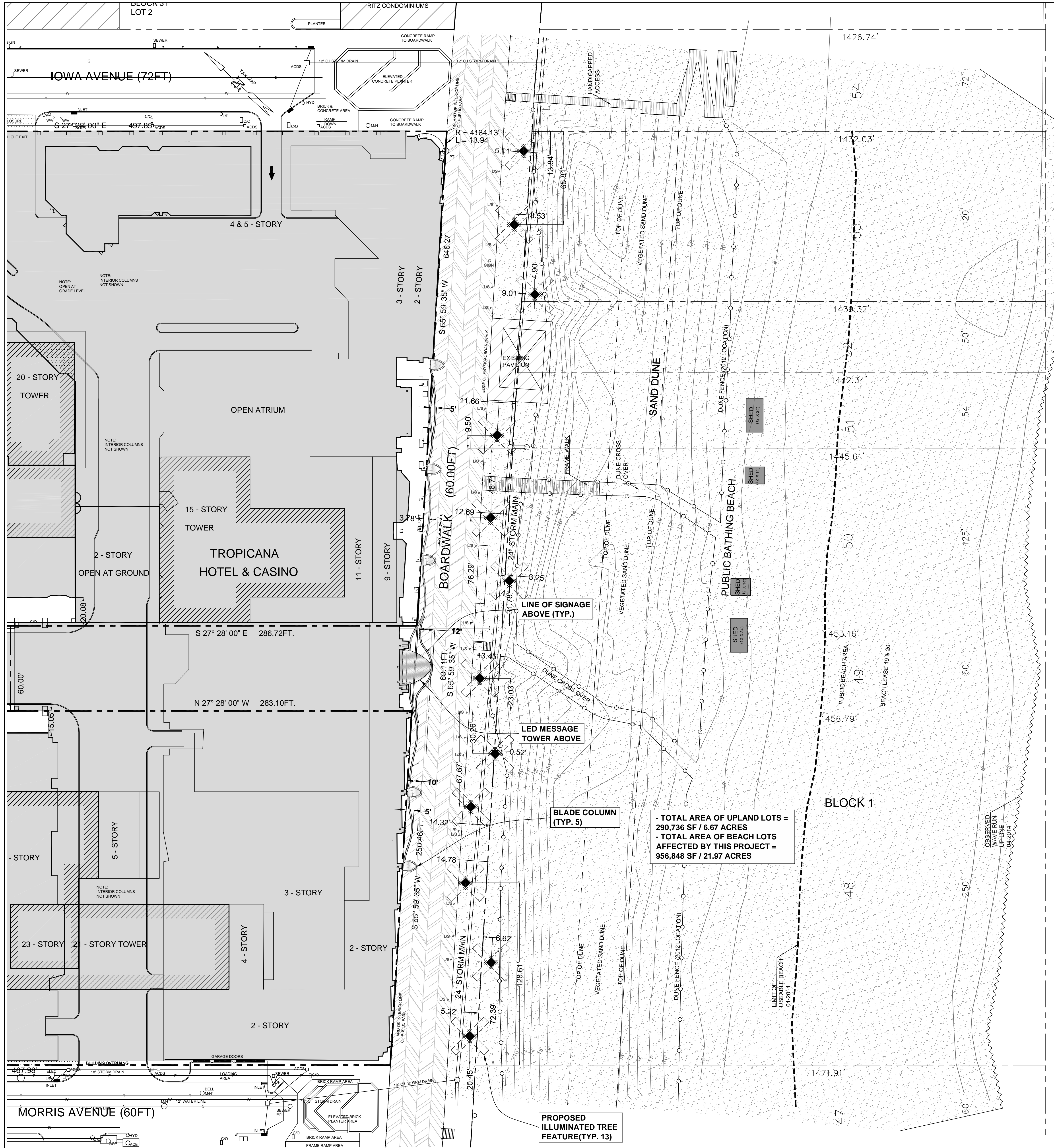
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	12/8/14	NZ	GENERAL REVISIONS				

ARTHW. PONZIO, JR. DATE 12/8/14
PROFESSIONAL PLANNER N.J. NO. 2676
PROFESSIONAL LAND SURVEYOR N.J. NO. GS28314

JON J. BARNHART DATE 12/8/14
PROFESSIONAL PLANNER N.J. NO. 6743483
PROFESSIONAL ENGINEER N.J. NO. GE43483

TITLE SHEET / AREA MAPS
BLOCK 30 LOTS 1 & 2, BLOCK 1 LOTS 48-53
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY
SCALE: NTS
DATE: 10/28/14

BY: N. ZURINSKAS
PROJ. NO.: 32207



COVERAGE CALCULATIONS
- TOTAL PROJECT DISTURBANCE AREA = 996,470 SF
- AREA OF EXISTING BOARDWALK, PAVILLION, STEPS/LANDING, FRAME BEACH ACCESS WALK = 30,000 SF
- AREA OF EX. BEACH SHEDS = 912 SF
- PROPOSED TREE FEATURE COVERAGE (NOT WITHIN EX. PHYSICAL BOARDWALK) = 3,000 SF
- TOTAL AREA OF COVERAGE = 34,112 SF
- TOTAL PERCENTAGE OF COVERAGE = 3.4%

PROPOSED COVERAGE DETAIL
SCALE: 1" = 50'

Applicant: Tropicana Atlantic City Corp. d/b/a Tropicana Casino & Resort
Iowa Avenue & Boardwalk
Owners: Tropicana Atlantic City Corp
Tropicana AC Sub Corp
City of Atlantic City- 1301 Bacharach Blvd

SIGNAGE SCHEDULE (PROJECTION SIGNS)

ITEM	ORDINANCE	PROPOSED	STATUS
FUNCTION	BULLETIN BOARD, IDENTIFICATION, BUSINESS, JOINT-IDENTIFICATION	ADVERTISING	V
STRUCTURE	SUBSECTIONS E & F EXCEPT POLE AND ROOF	PROJECTING	V
SURFACE AREA	60 SF	15,340 SF	V
HEIGHT	20 FT	100 FT	V
ILLUMINATION	INDIRECT OR INTERNAL WHITE LIGHT	PROJECTION	V
SETBACK	NONE	NONE	C
LOCATION (1)	NOT ON A LOT WHICH FORMS PART OF FRONTAGE ZONED FOR RES. USES ALONG 50% OF IT'S LENGTH AND TO ALL OTHER LOTS LOCATED WIN 50'.	NO	C
LOCATION (2)	NOT WITHIN 100' OF ANY LOT LINE OF A DESIGNATED LANDMARK, IF SIGN OR STRUCTURE IS VISIBLE FROM LANDMARK AT 5' ABOVE GRADE.	NO	C
LOCATION (3)	NOT WITHIN 200' OF ANY OTHER ADVERTISING SIGN STRUCTURE LOCATED ON SAME SIDE OF STREET, OR WITHIN 100' OF ANY OTHER ADVERTISING SIGN STRUCTURE.	NO	C
LOCATION (4)	NOT WITHIN A 500' RADIUS OF ANY OTHER SIGN HAVING A GROSS SURFACE AREA IN EXCESS OF 300 SF	NO	C
LOCATION (5)	NOT WITHIN 100' OF ANY SCHOOL, CHURCH, LIBRARY OR SIMILAR INSTITUTION, PUBLIC PARK, PARKWAY.	YES (BEACH)	V
LOCATION (6)	A SIGN IN EXCESS OF 300 SF NOT WITHIN 500 FT OF ANY RESIDENTIAL DISTRICT	NO	C
LOCATION (7)	FOR SIGNS ORIENTED TOWARD AN EXPRESSWAY OR PASSENGER RAIL LINE, WITH A 500' RADIUS OF ANOTHER SIGN ORIENTED TOWARD SAME.	NO	C

C = CONFORMING
ENC = EXISTING NON-CONFORMING
V = VARIANCE RELIEF REQUIRED



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ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND SAFETY REQUIREMENTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE HIGH VOLTAGE PROXIMITY ACT, STATE OF NEW JERSEY, ADOPTED 2014 AS P.L. 1946, § 2-20, THE NEW JERSEY UNIFORM CONSTRUCTION CODE, BOCA ASTM SPECIFICATIONS, ALL LOCAL ORDINANCES AND PERMIT CONDITIONS.

A.W. PONZIO CO & ASSOCIATES, INC. RESPONSIBILITIES DO NOT INCLUDE ANY FIELD INSPECTION, CONSTRUCTION MANAGEMENT, CONSTRUCTION OR CONTRACTORS COMPLIANCE WITH CONSTRUCTION DOCUMENTS.



ARTHUR W. PONZIO CO. & ASSOCIATES, INC.
SURVEYORS, PLANNERS, ENGINEERS
400 NORTH DOVER AVENUE, ATLANTIC CITY, N. J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

1	12/8/14	NZ	GENERAL REVISIONS						
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION		

ARTHUR W. PONZIO, JR. DATE
PROFESSIONAL PLANNER N.J. NO. 2676
PROFESSIONAL LAND SURVEYOR N.J. NO. GS28314

JON J. BARNHART DATE
PROFESSIONAL PLANNER N.J. NO.
PROFESSIONAL ENGINEER N.J. NO. GE43483

SITE DEVELOPMENT PLAN
BLOCK 30 LOTS 1 & 2, BLOCK 1 LOTS 48-53
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY
SCALE: 1" = 30'
DATE: 10/28/14
BY: N. ZURINSKAS
PROJ. NO.: 32207



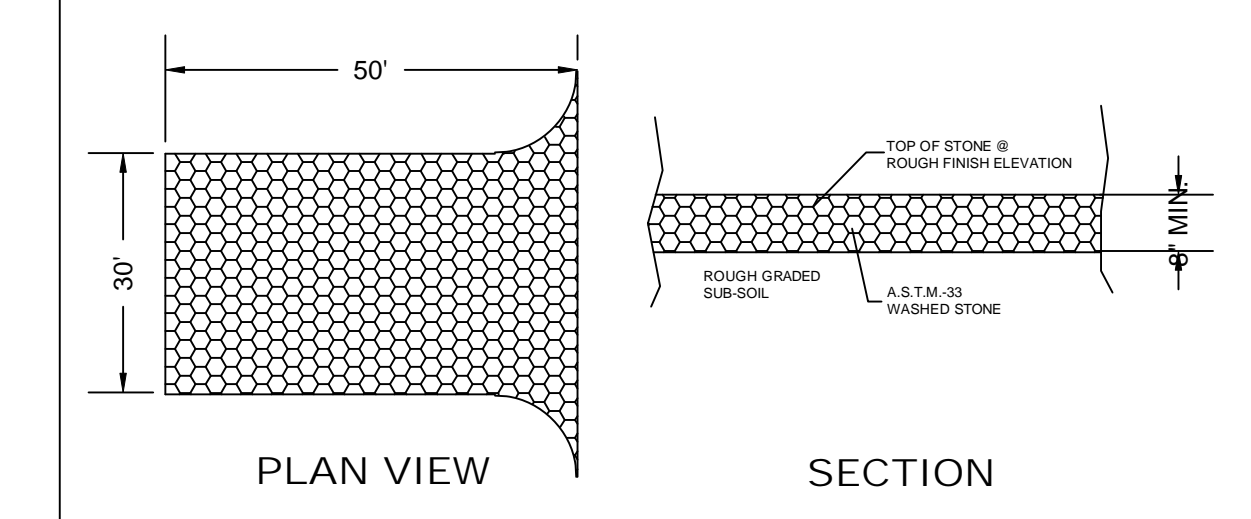
- MISCELLANEOUS:**
1. A REPORT OF COMPLIANCE MUST BE OBTAINED FROM THE DISTRICT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY FROM THE MUNICIPALITY. A REQUEST FOR A DISTRICT INSPECTION FOR THE RELEASE OF A REPORT OF COMPLIANCE MUST BE MADE 5 WORKING DAYS IN ADVANCE. THIS APPLIES TO BOTH COMPLETE (FINAL) AND CONDITIONAL (TEMPORARY) CERTIFICATES.
 2. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

- SOIL EROSION AND SEDIMENT CONTROL NARRATIVE**
- STRUCTURAL MEASURES**
1. STABILIZED CONSTRUCTION ENTRANCE: The Contractor shall construct a temporary stone apron at the designated entranceways to the site to limit mud tracking onto area roadways. It shall consist of ASTM C-33, size #20-3 crushed stone surface 30' wide x 50' long x 8" deep.
 2. HAY BALE DAM: The Contractor shall construct a Hay Bale Dam around all stockpile areas. The Hay Bale Dam shall be constructed with the following provisions:
 - a. Bales shall be placed in a row with ends tightly abutting the adjacent bales.
 - b. Each bale shall be embedded in the soil a minimum of 4".
 - c. Bales shall be securely anchored in place by stakes, steel pipes, or rebar driven through the bales. The first stake in each bale shall be angled toward the previously laid bale.
 - d. Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 - e. The sediment collected along the hay bales shall be periodically gathered and placed on the site.
 - f. Bales shall be removed when they have served their usefulness so as not to block or impeded storm flow or drainage.
 3. SILT FENCE: A silt fence shall be constructed at locations shown on the Engineering Plan. Installation will be as follows:
 - a. Install fence posts 8' c/c, on a slight angle toward the anticipated runoff source.
 - b. Dig a 6" trench along the updrift side of the fence line.
 - c. Lay out silt fence fabric along post line.
 - d. Wrap fabric around the first post and to securely with cord.
 - e. Take fabric to the next post and make at 1" in the hem directly above the cord.
 - f. Repeat above step until last post is reached, wrap fabric around the post and secure with tie cord.
 - g. Drape the lower 6" of fabric in the trench, curled up-hill.
 - h. Back fill trench.
 4. LOW POINT INLET SEDIMENT FILTER: The Contractor shall construct low point inlet sediment filter at three locations on the Engineering Plan to prevent the transport of sediment into the stormwater management system and surface water bodies. The Inlet Sediment Filter shall consist of:
 - a. Hardware cloth or comparable wire mesh with 1" openings shall be placed over the curb inlet opening so that at least 12" of wire extends across the concrete gutter on the inlet opening.
 - b. Stakes shall be placed against the wire so as to anchor it against the gutter and inlet cover and to cover the inlet opening completely. Two to three inches of course aggregate shall be used.
 - c. If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, the stone must be pulled away from the inlet, cleared and replaced.

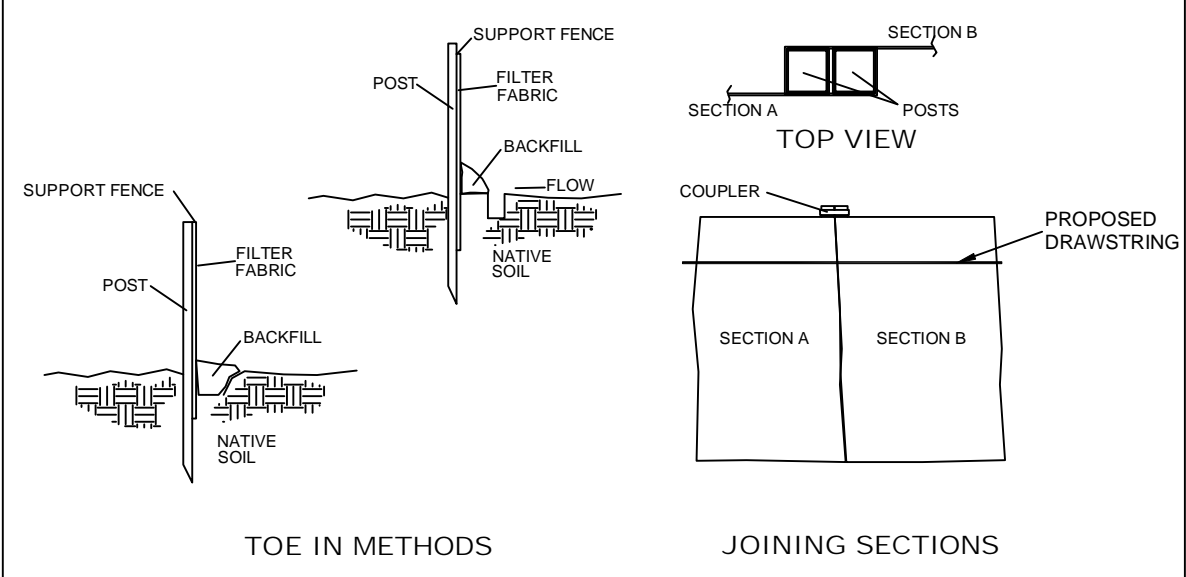
- NON-STRUCTURAL MEASURES**
1. PERMANENT VEGETATION: Immediately following the completion of construction activities at the site, the Contractor shall stabilize with permanent vegetative cover all exposed and disturbed soils. Permanent vegetative cover shall be accomplished as specified below:
 - a. Topsoiling-The Contractor shall prepare areas to be stabilized with permanent vegetative cover by applying topsoil to a uniform depth of 4". Topsoil shall be friable and heavy and of good quality.
 - b. Seeded Preparation-Immediately following topsoiling the Contractor shall apply pulverized dolomitic limestone at the rate of 50 pounds per 1000 square feet and fertilizer (10-20-10) at the rate of 14 pounds per 1000 square feet. The lime and fertilizer shall then be worked into the soil to a depth of 4" with a disc, springtooth harrow or other suitable equipment.
 - c. Seeding-Seed shall consist of 31 % perennial ryegrass, 23 % seedlings not fescue, 23 % Kentucky bluegrass, applied at the rate of 3 pounds per 1000 square feet.
 - d. Apply mulch uniformly by hand or mechanically. Mulch anchoring shall be accomplished immediately after placement through use of Peg and Twine Method (or other approved method).
 - e. Seeding Dates: 2/15-5/1 or 8/15-10/15. (May be planted throughout summer of soil moisture is adequate or can be irrigated). If seed is not planted within these dates, the Contractor shall stabilize with mulch.
 2. TEMPORARY VEGETATIVE COVER:
 - a. Prior to halting construction for periods longer than 60 days and during the off-season, the Contractor shall stabilize with temporary vegetative cover all exposed soils.
 - b. Temporary stabilization shall be accomplished by the following methods and materials:

Material	Type	Rate
lime	pulverized dolomitic 80 lbs./1000sf	
fertilizer	10-20-10 14 lbs./1000sf	
seed	annual ryegrass	3 lbs./1000sf

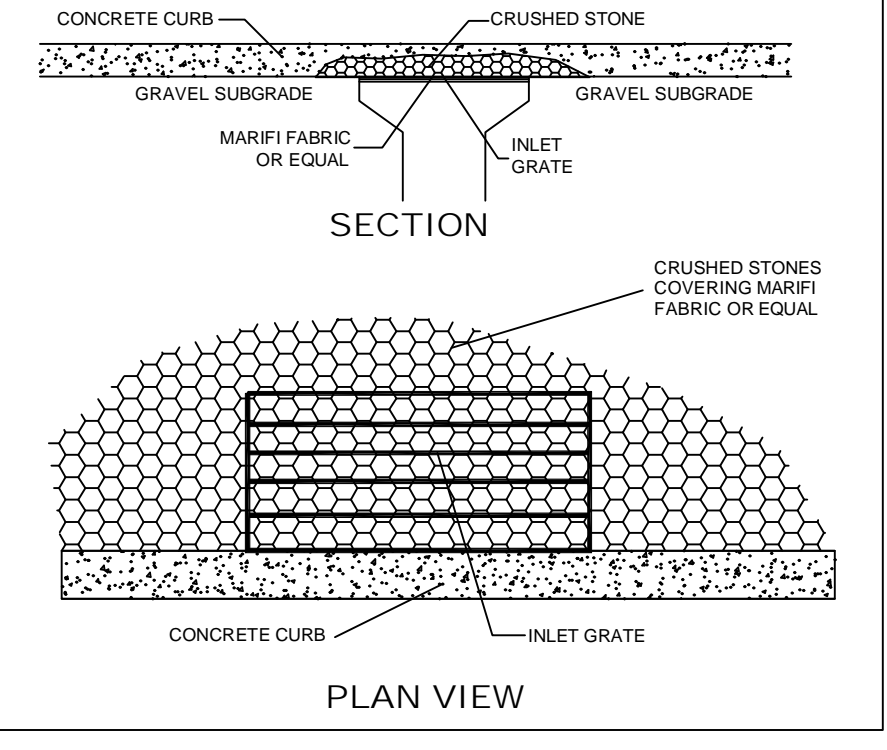
- Materials:**
- (1) Work time and fertilizer into soil to a depth of 2" with a disc, springtooth harrow, or other suitable equipment.
 - (2) Apply seed at the given rate and firm with a roller or light drag.
 - (3) Apply mulch uniformly by hand or mechanically. Mulch anchoring shall be accomplished immediately after placement through use of Peg and Twine Method (or other approved method).
 - (4) Seed dates: 2/15-5/1 or 8/15-10/15. (May be planted throughout summer of soil moisture is adequate or can be irrigated). If seed is not planted within these dates, the Contractor shall stabilize with mulch.
- 3. STABILIZATION WITH MULCH ONLY:** Apply untreated straw or salt hay at the rate of 70lbs./1000 sf. It shall be anchored immediately through the use of Peg and Twine Method.
- 4. PEG AND TWINE METHOD OF MULCH ANCHORING:** Drive 8-10" wooden pegs to within 2 to 3 inches of the soil surface every 4' in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by inserting twice between pegs in a cross-cross and a square pattern. Secure twice around each peg with two or more turns.
- 5. DUST CONTROL:** To control dust generation on-site, the Contractor shall wet construction traffic routes and staging areas.



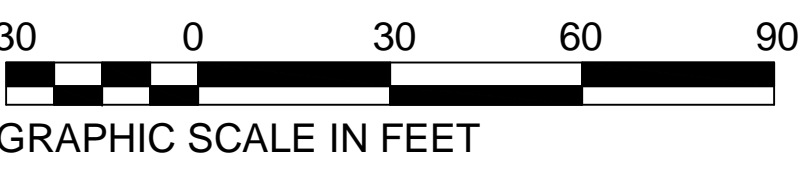
STABILIZED CONSTRUCTION ENTRANCE DETAIL



ENVIROFENCE DETAIL



INLET FILTER DETAIL



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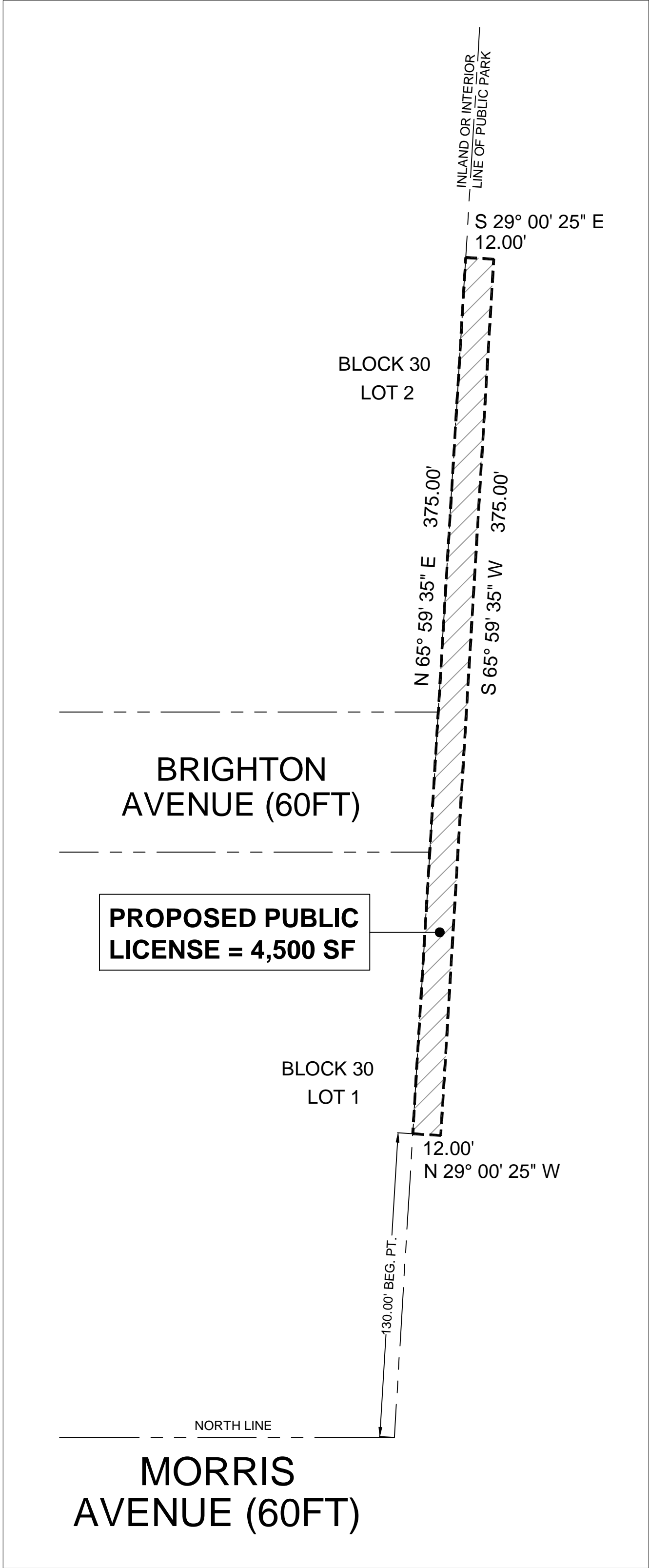
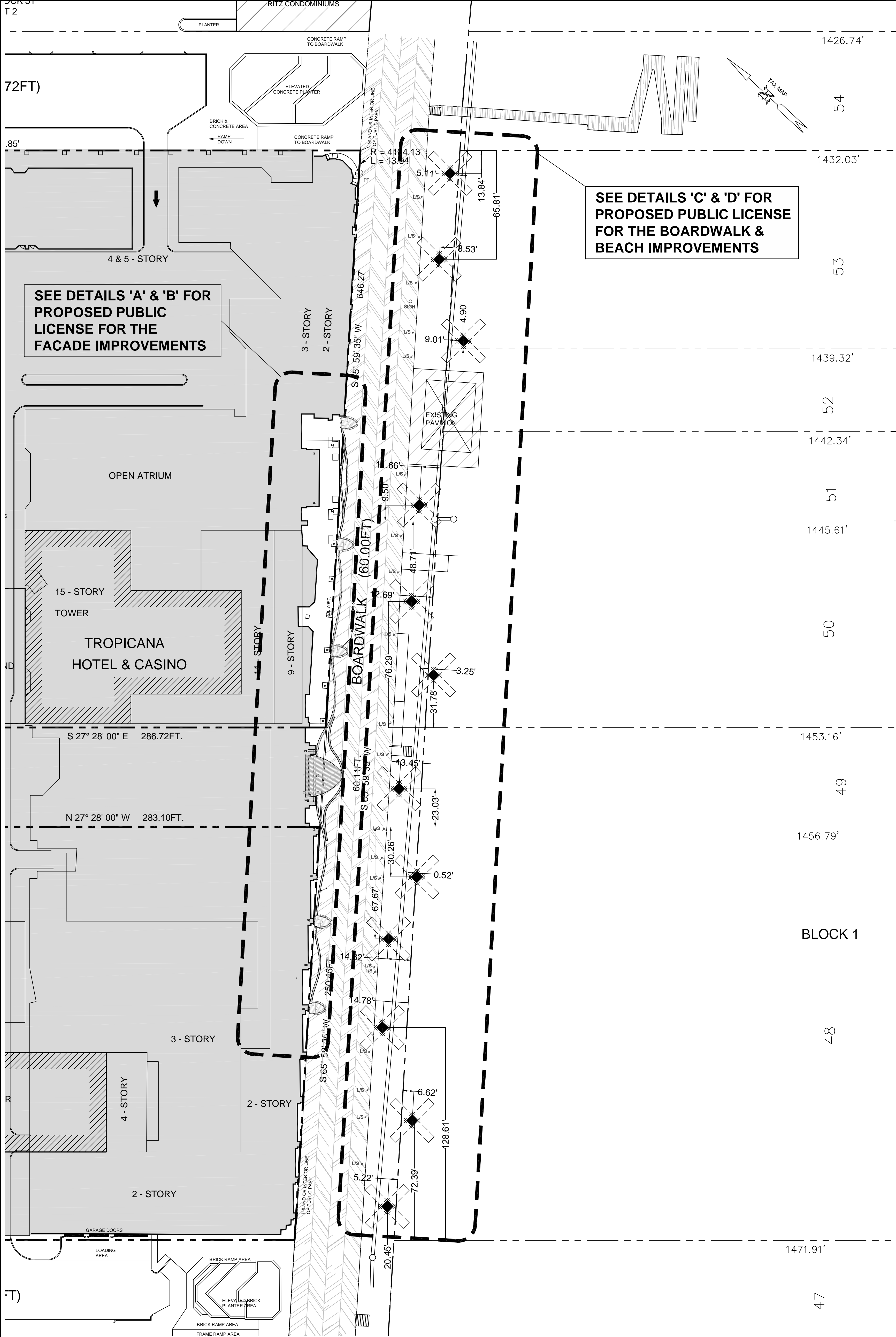
ARTHUR W. PONZIO CO. & ASSOCIATES, INC.
SURVEYORS, PLANNERS, ENGINEERS
400 NORTH DOVER AVENUE, ATLANTIC CITY, N. J. 08401
PHONE: 609-344-8194 FAX: 609-344-1594
NEW JERSEY STATE AUTH. NO.: 24GA28001300

1	12/8/14	NZ	GENERAL REVISIONS						
NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION		
REVISIONS									

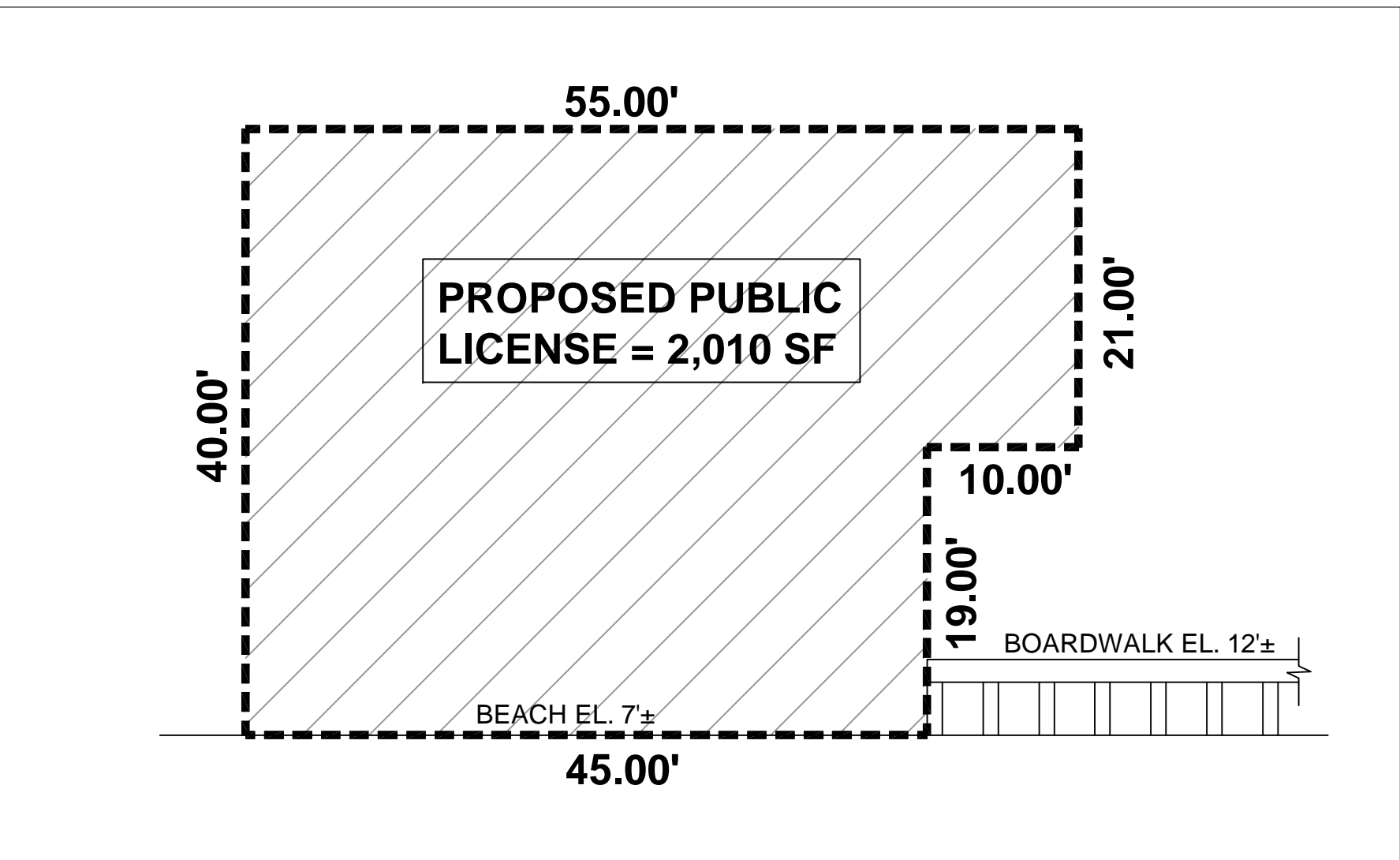
ARTHUR W. PONZIO, JR. DATE
PROFESSIONAL PLANNER N.J. NO. 2676
PROFESSIONAL LAND SURVEYOR N.J. NO. GS28314

JON J. BARNHART DATE
PROFESSIONAL PLANNER N.J. NO.
PROFESSIONAL ENGINEER N.J. NO. GE43483

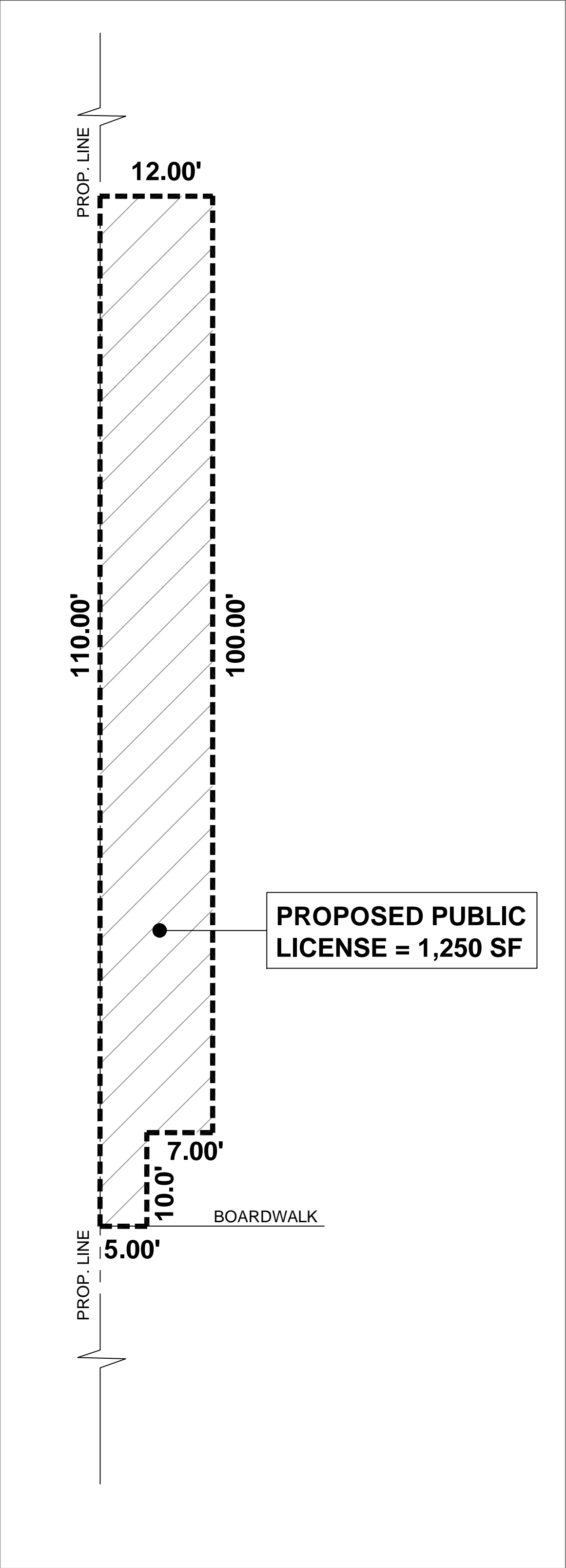
SOIL EROSION & SEDIMENT CONTROL PLAN
BLOCK 30 LOTS 1 & 2, BLOCK 1 LOTS 48-53
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY
SCALE: 1" = 30'
DATE: 10/28/14
BY: N. ZURINSKAS
PROJ. NO.: 32207



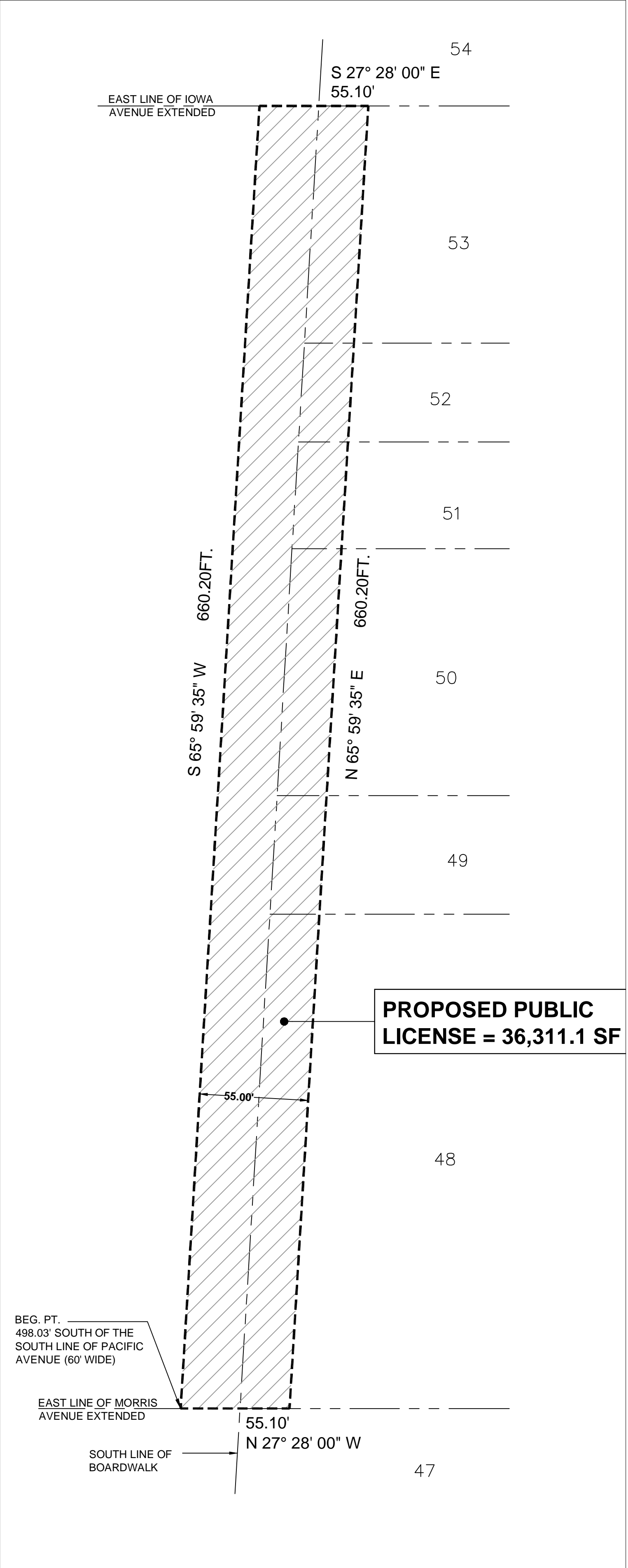
DETAIL 'A'
PROPOSED PUBLIC LICENSE PLAN
VIEW FOR FACADE IMPROVEMENTS
SCALE: 1" = 40'



DETAIL 'D'
PROPOSED PUBLIC LICENSE ELEVATION VIEW FOR
BOARDWALK / BEACH IMPROVEMENTS
SCALE: 1" = 40'



DETAIL 'B'
PROPOSED PUBLIC LICENSE ELEVATION
VIEW FOR FACADE IMPROVEMENTS
SCALE: 1" = 10'



DETAIL 'C'
PROPOSED PUBLIC LICENSE PLAN VIEW
FOR BOARDWALK / BEACH IMPROVEMENTS
SCALE: 1" = 40'



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AWP

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ARTHUR W. PONZIO, JR. DATE 2676
PROFESSIONAL PLANNER N.J. NO. 2676
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Jon J. Barnhart

JON J. BARNHART DATE
PROFESSIONAL PLANNER N.J. NO.
PROFESSIONAL ENGINEER N.J. NO. GE43483

PUBLIC LICENSE PLAN
BLOCK 30 LOTS 1 & 2, BLOCK 1 LOTS 48-53
CITY OF ATLANTIC CITY, ATLANTIC COUNTY, NEW JERSEY

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